



City of El Cajon

Planning Commission Agenda

Tuesday, March 6, 2018 Meeting

7:00 PM, Council Chambers

DARRIN MROZ, Chair
 PAUL CIRCO, Vice Chair
 JERRY TURCHIN
 VERONICA LONGORIA
 ANTHONY SOTTILE

Meeting Location: City Council Chambers, 200 Civic Center Way, El Cajon, CA

www.cityofelcajon.us/your-government/departments/community-development/planning-division

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

CHAIRPERSON'S WELCOME

PUBLIC COMMENT

This is the opportunity for the public to address the Commission on any item of business within the jurisdiction of the Commission that is not on the agenda. Under state law no action can be taken on items brought forward under Public Comment except to refer the item to staff for administrative action or to place it on a future agenda.

CONSENT

Agenda Item:	1
	Planning Commission minutes of February 20, 2018

PUBLIC HEARINGS

Agenda Item:	2
Project Name:	Weld Industrial
Request:	Amend specific plan for new industrial building
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	RECOMMEND CITY COUNCIL APPROVAL
Project Number(s):	Amendment to Specific Plan (SP) No. 246
Location:	North side of Weld Boulevard between Gillespie Way and Windmill View
Applicant:	Jason Khoury, jason@mychecklight.com, 619-277-8701
Project Planner:	Lorena Cordova, lcordova@cityofelcajon.us, 619.441.1539
City Council Hearing Required?	Yes March 27, 2018
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order recommending City Council approve the CEQA exemption and amendment to SP No. 246, subject to conditions.

Decisions and Appeals - A decision of the Planning Commission is not final until the appeal period expires 10 days from the date of transmittal of the Commission's resolution to the City Clerk. The appeal period for the items on this Agenda will end on Friday, March 16, 2018 at 5:00 p.m., except that Agenda items which are forwarded to City Council for final action need not be appealed.

Agenda Item:	3
Project Name:	Family Health Center Expansion
Request:	General Plan Amendment, Zone Reclassification, and Site Development Permit
CEQA Recommendation:	Mitigated Negative Declaration
STAFF RECOMMENDATION:	RECOMMEND CITY COUNCIL APPROVAL
Project Number(s):	General Plan Amendment (GPA) No. 2017-02 Zone Reclassification (ZR) No. 2326 Site Development Plan (SDP) No. 1509
Location:	East side of Taft Avenue between East Main Street and East Lexington Avenue
Applicant:	Family Health Centers of San Diego, Inc. (David Wisenhunt), davidw@fhcsd.org, 619-515-2569
Project Planner:	Lorena Cordova, lcordova@cityofelcajon.us, 619.441.1539
City Council Hearing Required?	Yes March 27, 2018
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolution in order recommending City Council APPROVAL of the Mitigated Negative Declaration 3. MOVE to adopt the next resolution in order recommending City Council APPROVAL of the proposed General Plan Amendment 4. Move to adopt the next resolution in order recommending City Council APPROVAL of the Zone Reclassification 5. Move to adopt the next resolution in order recommending City Council APPROVAL of the Site Development Permit

Decisions and Appeals - A decision of the Planning Commission is not final until the appeal period expires 10 days from the date of transmittal of the Commission's resolution to the City Clerk. The appeal period for the items on this Agenda will end on Friday, March 16, 2018 at 5:00 p.m., except that Agenda items which are forwarded to City Council for final action need not be appealed.

Agenda Item:	4 – Continued from February 20, 2018
Project Name:	Transit District Specific Plan
Request:	Workshop
CEQA Recommendation:	Environmental Impact Report
STAFF RECOMMENDATION:	No Action
Project Number(s):	General Plan Amendment No. 2017-04 Specific Plan No. 531 Zone Reclassification No. 2328 Environmental Impact Report No. 90
Location:	Area Surrounding the El Cajon Transit Station
Applicant:	City of El Cajon - Planning
Project Planner:	Melissa Devine, 619.441.1773, mdevine@cityofelcajon.us
City Council Hearing Required?	No
Recommended Actions:	Workshop item. No action requested.

4. OTHER ITEMS FOR CONSIDERATION

5. STAFF COMMUNICATIONS

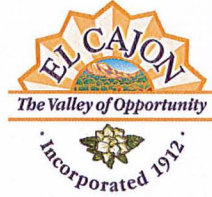
Director's Report

6. COMMISSIONER REPORTS/COMMENTS

7. ADJOURNMENT

This Planning Commission meeting is adjourned to March 20, 2018 at 7 p.m.

Decisions and Appeals - A decision of the Planning Commission is not final until the appeal period expires 10 days from the date of transmittal of the Commission's resolution to the City Clerk. The appeal period for the items on this Agenda will end on Friday, March 16, 2018 at 5:00 p.m., except that Agenda items which are forwarded to City Council for final action need not be appealed.



DRAFT MINUTES
PLANNING COMMISSION MEETING
February 20, 2018

The meeting of the El Cajon Planning Commission was called to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE & MOMENT OF SILENCE.

COMMISSIONERS PRESENT: Paul CIRCO, Vice Chair
Anthony SOTTILE
Jerry TURCHIN

COMMISSIONERS ABSENT: Darrin MROZ, Chair
Veronica LONGORIA

STAFF PRESENT: Anthony SHUTE, Director / Planning Commission Secretary
Melissa DEVINE, Senior Planner
Barbara LUCK, City Attorney
Ron Luis VALLES, Administrative Secretary

Vice Chair CIRCO explained the mission of the Planning Commission.

PUBLIC COMMENT:

No one spoke.

CONSENT CALENDAR:

Agenda Item:	1
	Planning Commission minutes of January 16, 2018

Motion was made by SOTTILE, seconded by TURCHIN, to approve the January 16, 2018 minutes; carried 3-0 (LONGORIA, MROZ, absent).

PUBLIC HEARING ITEMS:

Agenda Item:	2
Project Name:	Hotel and Motel Program
Request:	Initiate Zoning Code Amendment for a new motel and hotel operation permit program
CEQA Recommendation:	Exempt

STAFF RECOMMENDATION:	APPROVE
Project Number(s):	Amendment of Zoning Code No. 436
Location:	Citywide
Applicant:	City of El Cajon - Planning
Project Planner:	Melissa Devine, 619.441.1773, mdevine@cityofelcajon.us
City Council Hearing Required?	No
Recommended Actions:	1. Conduct the public hearing; and 2. MOVE to adopt the next resolution in order, approving the initiation of the Zoning Code Amendment

DEVINE summarized the agenda report in a Power Point presentation. Staff noted that they will visit the City of Chula Vista and review their Operational Permit Program, which has seen a dramatic decrease in calls for service since it began in 2014.

No one spoke in favor or opposition.

Commissioners praised the need for the Operational Permit Program, and liked the idea of including the Crime Free Motel and Hotel Program.

Motion was made by CIRCO, seconded by TURCHIN, to adopt the next Resolution in order directing staff to prepare for consideration an Amendment to Title 17 of the El Cajon Municipal Code for a Hotel and Motel Operational Permit; carried 3-0 (LONGORIA, MROZ, absent).

Agenda Item:	3
Project Name:	State Legislative Housing Package
STAFF RECOMMENDATION:	ACCEPT REPORT
Location:	Citywide
Recommended Actions:	Information Only

SHUTE summarized the agenda report about 15 newly-adopted housing bills.

Agenda Item:	4
Project Name:	Transit District Specific Plan
Request:	Workshop
CEQA Recommendation:	Environmental Impact Report
STAFF RECOMMENDATION:	No Action
Project Number(s):	General Plan Amendment No. 2017-04 Specific Plan No. 531 Zone Reclassification No. 2328 Environmental Impact Report No. 90
Location:	Area Surrounding the El Cajon Transit Station
Applicant:	City of El Cajon - Planning
Project Planner:	Melissa Devine, 619.441.1773, mdevine@cityofelcajon.us

City Council Hearing Required?	No	
Recommended Actions:	Workshop item. No action requested.	

No one spoke in favor or opposition.

This workshop item is being continued to the Planning Commission meeting at 7:00 p.m., Tuesday, March 6, 2018 in City Council Chambers.

STAFF COMMUNICATIONS:

SHUTE provided updates on Courtyard by Marriott, Live Nation, Dunkin Donuts, Jaguar/Land Rover dealership, and Bella Terraza.

ADJOURNMENT:

Motion was made by TURCHIN, seconded by SOTTILE, to adjourn the meeting of the El Cajon Planning Commission at 7:35 p.m. this 20th day of February 2018 until March 6, 2018; carried 3-0 (LONGORIA, MROZ, absent).

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Paul CIRCO, Vice Chair

ATTEST:

Anthony SHUTE, AICP, Secretary



City of El Cajon

Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	2
Project Name:	Weld Industrial
Request:	Amend specific plan for new industrial building
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	RECOMMEND CITY COUNCIL APPROVAL
Project Number(s):	Amendment to Specific Plan (SP) No. 246
Location:	North side of Weld Boulevard between Gillespie Way and Windmill View
Applicant:	Jason Khoury, jason@mychecklight.com, 619-277-8701
Project Planner:	Lorena Cordova, lcordova@cityofelcajon.us, 619-441-1539
City Council Hearing Required?	Yes March 27, 2018
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order recommending City Council approval the CEQA exemption and amendment to SP No. 246, subject to conditions.

PROJECT DESCRIPTION

This request is for a new 17,060 square-foot industrial building at an existing industrial site located on the north side of Weld Boulevard between Angila Drive and Cuyamaca Street, and addressed as 1900 Weld Boulevard. The proposed project requires approval of an Amendment to Specific Plan No. 246 that governs the property.

BACKGROUND

General Plan:	Industrial Park (IP)
Specific Plan:	Specific Plan (SP) No. 246
Zone:	Manufacturing (M)
Other City Plan(s):	N/A
Regional and State Plan(s):	Gillespie Field Airport Land Use Compatibility Plan (ALUCP)
Notable State Law(s):	N/A

The project site was once part of the County of San Diego’s unincorporated area and was annexed into the City in conjunction with a proposal to rezone the property to a Manufacturing zone and the associated industrial development for Buck Knives in 1978.

The Planning Commission recently considered this item on December 5, 2017, and recommended approval of the previously proposed 14,295 square-foot industrial building. However, subsequent to the Planning Commission recommendation, the applicant revised the submittal to enlarge the building footprint by 2,765 square feet for a total building area of 17,060 square feet. The rest of the existing development and overall site remains unchanged. The revised project was reviewed again by all City development disciplines.

Project Site & Constraints

The lot is 441,527 square feet (10.13 acres) and rectangular shaped. The site is currently developed with an existing 155,113 square-foot building situated to the rear of the property and 283 parking stalls towards the front of the lot. The site is accessed by a two-way driveway. There are easements for Padre Dam on the property. The applicant continues to work with Padre Dam on the proposed modifications to the site.

Surrounding Context

Properties surrounding the subject site are developed and zoned as follows:

Direction	Zones	Land Uses
North (City of Santee)	R-2 (Low-Medium Density)	Single-family residences
South	RS-9	Single-family residences
East	O-S, M	Vacant, Airport
West (City of Santee)	R-2 (Low-Medium Density)	Single-family residences

General Plan

The land use designation of the subject property is Industrial Park (IP) according to the General Plan Land Use Map. The IP land use designation focuses on quality manufacturing and process office uses. General Plan Goal 4 states “Quality industrial areas shall be established and maintained.” Objective 4-2 states “Gillespie Field Industrial Area will be used exclusively for industrial and industrially related purposes.”

Specific Plan

The site is governed by Specific Plan (SP) No. 246 which was originally approved on October 31, 1978, to allow an industrial development in the M zone. The site was used for many years by Buck Knives.

Municipal Code/Zoning Code

The subject property is within the Manufacturing (M) zone and according to the El Cajon Municipal Code (ECMC) Industrial Land Use Table 17.150.150, a manufacturing and associated office use is permitted by right. The applicant is proposing a new industrial building at the existing industrial site which is subject to the M Zone development standards.

Gillespie Field ALUCP

The ALUCP is a regional plan that governs the project site and the surrounding area. The ALUCP is a policy document designed to implement the primary objectives of the State Aeronautics Act and the California Airport Land Use Planning Handbook by promoting compatibility between Gillespie Field and the land uses that surround it. The subject site is located within the Airport Influence Area (AIA) of Gillespie Field, and is therefore subject to the ALUCP. Furthermore, the project is located within Review Area 1 and Safety Zone 3 and is subject to compliance with ECMC Chapter 17.260 of the Airport Overlay Zone.

Airspace Protection

Due to the proximity of the site to the airport a Determination of No Hazard from the Federal Aviation Administration is required and has been secured by the applicant.

Noise Compatibility Policies

The project is located within the 65 to 70 decibel (db) level Noise Contour.

Land Use Type	Exterior Noise Exposure Allowed	Proposed Area	Compatibility Determination
Office	45-50 db	1,442 sq.ft.	Conditionally Compatible
Manufacturing	None	N/A	Compatible
Warehouse	None	N/A	Compatible

As indicated in the table above, the noise exposure for the office use is conditionally compatible. The structure must be capable of attenuating exterior noise to the indoor Community Noise Equivalent Level indicated as 45 to 50 db. A proposed condition of approval requires the applicant to certify during the building permit process that the indoor noise level will be within the allowable db levels.

Avigation Easement

The Gillespie Field ALUCP requires property owners to grant an avigation easement to the airport operator for certain projects in certain parts of the airport influence area. The types of projects requiring avigation easements are listed under Policy 2.11.5, and on

Exhibit III-6 (Avigation Easement and Overflight Notification Areas) of the Gillespie Field ALUCP. The avigation easement provides the right of flight in the airspace above the property; allows the generation of noise and other impacts associated with aircraft overflight; restricts the height of structures, trees, and other objects; and, permits access to the property for removal or aeronautical marking of objects exceeding certain height limits. This project is located within the 65 db noise contour and is listed as a conditional land use which means an Avigation Easement is required. Therefore, as a condition of the project, an Avigation Easement to the benefit of Gillespie Field is required.

DISCUSSION

The proposed project consists of a new industrial building of 17,060 square feet for office and warehouse uses at the existing developed property. The project includes modifications to the existing surface parking lot, landscaping expansion and rehabilitation, and on-site lighting.

Development Standards

The table below provides a comparison of the M zone standards and the proposed project. Standards discussed elsewhere in this report are excluded from the table.

Development Standard	M Zone	Proposed Project
Setbacks	10 feet (minimum)	79 feet
Lot Coverage	No requirement	Not applicable
Building Height	35 feet	34 feet

The maximum building height allowed in the M zone is 35 feet. However, according to ECMC section 17.130.115, the maximum building height may be exceeded for steeples, spires, clearstories and/or architectural projections as long as it does not exceed a height of 20 feet above what is allowed and that it cover less than 25 percent of the roof area. The proposed building height of 34 feet with an architectural projection of the building façade of 42 feet and 8 inches complies with the maximum allowable building height.

Design, Architecture, and Exterior Building Materials

The architecture and design of the Weld Building expansion was evaluated in conformance with the Architectural Guidelines provided in ECMC chapter 17.180. The project proposes a modern and simplistic design style of the building. The building is primarily concrete and stucco. However, the building facades provide different fenestration with windows, deep stucco reveals and trim features, and includes metal roll up doors on the west elevation.

The building also includes an architectural projection that accentuates the building entrance with a metal panel system. A two-tone color system is proposed consisting of beige and white. Building materials include metal panels, aluminum storefront systems, and wood trim. Project elevations and colored renderings are included as an attachment to the report.

Parking

The M zone requires manufacturing uses to provide 1 parking space per 600 square feet of gross floor area. This includes accessory office space up to 25 percent of gross floor area. The area in excess of 25 percent must provide parking at 1 parking space per 300 square feet. The project requires 219 parking spaces. The existing site has a total of 287 parking spaces.

Landscape

The site has existing landscaping throughout. The project proposes to add 4,302 square feet of landscaping which will require a Landscape Documentation Package and compliance with the City's Water Efficient Landscape Ordinance. The conceptual landscape plan reflects a mix of groundcover, shrubs and trees. Species include coyote brush groundcover, purple rockrose shrubs, and coast live oak trees.

FINDINGS

El Cajon Municipal Code Section 17.70.040 requires the consideration of the following findings:

A. The proposed specific plan or specific plan amendment serves the public interest.

The proposed specific plan amendment to allow the new industrial building expansion strengthens the existing industrial development, and it concentrates new industrial uses in designated areas.

B. The proposed specific plan or specific plan amendment will systematically implement the city's general plan.

The project site is located within the Manufacturing zone and the Light Industrial land use designation. Goal 4 of the General Plan underscores the importance of establishing and maintaining quality industrial areas. Furthermore, Objective 4-1 indicates that the area around Gillespie Field should be maintained as the City's prime industrial area. The new industrial building expansion at the existing site will continue to implement the goals and policies of the General Plan.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed industrial development project is exempt from the provisions of the California Environmental Quality Act (CEQA) according to Section 15332 of the CEQA Guidelines. Section 15332 provides an exemption for in-fill projects that are characterized by a site that occurs within the city limits on a project site of no more than five acres substantially surrounded by urban uses; has no value as habitat for endangered, rare or threatened species; the approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and, that can be adequately served by all required utilities and public services. The project proposes to authorize an industrial development in an area that has already been developed with similar uses and infrastructure. Therefore, Section 15332 is an appropriate exemption for the proposed project.

PUBLIC NOTICE & INPUT

A notice of application was mailed on August 28, 2017, to property owners and tenants within a 300-foot radius of the site informing them of this permit application. A notice of this public hearing for the first version of the project was published in the East County Gazette and mailed on November 16, 2017, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code Sections 65090, 65091, and 65092, as applicable. A second notice for the revised version of the project was published on February 15, 2018, and a notice mailed on February 20, 2018. As a public service, the notices were posted in the kiosk at City Hall and on the City's website under "Public Hearings/Public Notices." The notices were also mailed to the two public libraries in the City of El Cajon, located at 201 East Douglas Avenue and 576 Garfield Avenue. Public correspondence was received regarding existing operations related to noise and activities at the site after the first notices. The applicant has since reached out to those who submitted correspondence and has been working with staff to address noise and activity-related concerns. Steps have already been taken to address the concerns by modifying standard operations, conducting a noise study and exploring alternative sound walls appropriate for the site. Public correspondence is included as an attachment to this report.

RECOMMENDATION

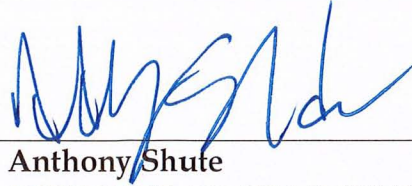
The proposed industrial building expansion will serve and promote the existing industrial operations and help meet market demand. Staff's recommendation is that the Planning Commission recommend approval of the Weld Building Expansion to the City Council.

PREPARED BY:



Lorena Cordova
ASSOCIATE PLANNER

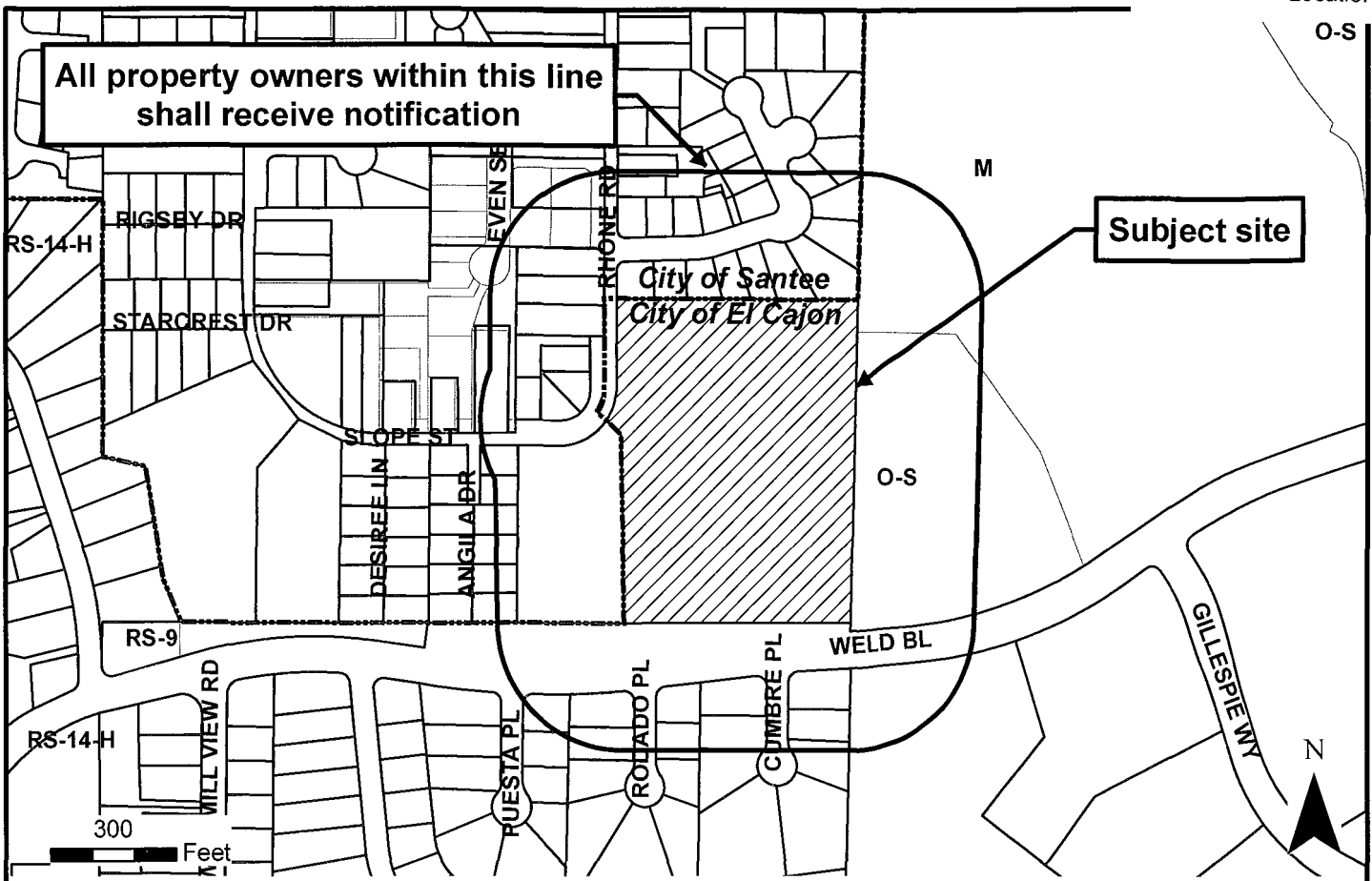
APPROVED BY:



Anthony Shute
DIRECTOR OF COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution Recommending APPROVAL of CEQA Exemption
3. Proposed Resolution Recommending APPROVAL of Amended Specific Plan No. 246
4. Aerial Photograph of Subject Site
5. Application and Disclosure statement
6. Reduced Plans
7. Colored Renderings
8. Public Correspondence
9. Full Size Plans (in commissioners' binders)



**NOTICE OF PROPOSED
AMENDMENT TO SPECIFIC PLAN NO. 246
1900 WELD EXPANSION**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, March 6, 2018**, and the El Cajon City Council will hold a public hearing at **7:00 p.m., Tuesday, March 27, 2018**, in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

AMENDMENT TO SPECIFIC PLAN NO. 246, as submitted by Jason Khoury on behalf of Silvergate Financial, Inc. for a new 17,000 square-foot building with on-site improvements to landscaping and parking at the existing industrial site. The subject property is located on the north side of Weld Boulevard between Angila Drive and Gillespie Way, and addressed as 1900 Weld Boulevard (Assessor Parcel Number 384-232-04). This project is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in these public hearings. The agenda reports for this project will be available 72 hours prior to the meeting for Planning Commission and City Council at <http://www.cityofelcajon.us/your-government/city-meetings-with-agendas-and-minutes-all>. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearings, but will be available at the Project Assistance Center and City Clerk counters upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearings described in this notice or in written correspondence delivered to the Commission or Council at, or prior to, the public hearings. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619.441.1742. More information about planning and zoning in El Cajon is available at <http://www.cityofelcajon.us/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **LORENA CORDOVA** at 619.441.1539 or via email at lcordova@cityofelcajon.us and reference "1900 Weld Expansion" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION RECOMMENDING CITY COUNCIL APPROVAL OF CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTION 15332 (IN-FILL DEVELOPMENT) FOR THE AMENDMENT TO SPECIFIC PLAN NO 246 FOR A NEW INDUSTRIAL BUILDING ADDITION ON THE NORTH SIDE OF WELD BOULEVARD BETWEEN GILLESPIE WAY AND WINDMILL VIEW IN THE M (MANUFACTURING) ZONE; APN NO. 384-232-04; GENERAL PLAN DESIGNATION: LIGHT INDUSTRIAL.

WHEREAS, the El Cajon Planning Commission held a duly advertised public hearing on March 6, 2018, to consider the Amendment to Specific Plan No. 246 for the addition of a new industrial building of 17,060 square feet at the property on the north side of Weld Boulevard between Gillespie Way and Windmill View, and addressed as 1900 Weld Boulevard, which is in the Manufacturing (M) zone; and

WHEREAS, in accordance with CEQA Guidelines Section 15061(b)(2), and prior to making a recommendation to the City Council, the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, it is proposed that the project is exempt from CEQA under Section 15332 (*In-fill Development*) of CEQA Guidelines, which allows for in-fill development in urbanized areas, as the record of proceedings contains evidence to support the determination that the Class 32 Categorical Exemption applies;

WHEREAS, no evidence was presented in proceedings that any of the conditions exist to provide exceptions to categorical exemptions as described in CEQA Guidelines Section 15300.2, exist; and

WHEREAS, after considering evidence and facts, the Planning Commission did consider the proposed CEQA Categorical Exemption, Section 15332 as presented at its meeting; and

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed exemption for the Weld Industrial Building Project.

Section 2. The El Cajon Planning Commission hereby further finds that the record in this proceeding includes evidence to support the following:

- A. The project site and the adjacent properties are designated LI (Light Industrial) on the General Plan Land Use Map. The subject site's zone, M (Manufacturing), is consistent with the General Plan designation. Furthermore, the project implements General Plan policies that require sound design standards and the expansion of existing industrial development. Moreover, the project satisfies Zoning Code regulations in concert with particular standards established by this specific plan.
- B. The project site is located within the city limits and is surrounded by urban uses, including, single-family residences, industrial buildings and airport-related buildings.
- C. The subject site and the surrounding area have historically been used for various industrial uses, and is developed as such. There is no record of endangered, rare, or threatened species on the subject property. Moreover, staff observed no protected or mitigable wildlife habitat on the subject site.
- D. The public circulation system has sufficient capacity to accommodate multiple modes of transportation, including bicycles, pedestrians and vehicles. The proposed project does not substantially add additional vehicle trips beyond the designed capacities of the surrounding existing streets, nor compromise the safety of other modal users. The adjacent roadways and intersections will operate at acceptable levels of service. Furthermore, the project will be designed to satisfy all applicable storm water regulations because it meets the threshold established by the El Cajon Municipal Code Chapter 16.60 to be a priority project, and is therefore subject to the Standard Urban Runoff Mitigation Plan requirements.
- E. All required utilities and public services are currently serving the subject site as well as the surrounding area, and can adequately serve the project. Furthermore, none of the conditions in Section 15300.2, which provide exceptions for categorical exemptions, exist.

Section 3. That based upon said findings of fact, the El Cajon Planning Commission hereby RECOMMENDS City Council APPROVAL of the proposed CEQA exemptions for the Amendment to Specific Plan No. 246.

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held March 6, 2018 by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

ATTEST:

Anthony SHUTE, AICP, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION RECOMMENDING CITY COUNCIL APPROVAL OF PROPOSED AMENDMENT TO SPECIFIC PLAN NO. 246 FOR A NEW INDUSTRIAL BUILDING AT AN EXISTING INDUSTRIAL DEVELOPMENT ON THE NORTH SIDE OF WELD BOULEVARD BETWEEN GILLESPIE WAY AND WINDMILL VIEW IN THE M (MANUFACTURING) ZONE; APN 384-232-04; GENERAL PLAN DESIGNATION: LIGHT INDUSTRIAL.

WHEREAS, the El Cajon Planning Commission held a duly advertised public hearing on December 5, 2017, considered and recommended approval of the Amendment to Specific Plan No. 246 for a new industrial building expansion of 14,295 square feet located on the north side of Weld Boulevard between Gillespie Way and Windmill View, and addressed as 1900 Weld Boulevard; and

WHEREAS, on January 23, 2018, the applicant submitted a revised submittal for a new industrial building expansion of 17,060 square feet; and,

WHEREAS, on March 6, 2018, the El Cajon Planning Commission held a duly advertised public hearing to consider the Amendment to Specific Plan No. 246 for a new industrial building expansion of 17,060 square feet; and

WHEREAS, in accordance with California Environmental Quality Act (CEQA) and CEQA Guidelines Section 15332 was reviewed and considered by the Planning Commission; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment in the form of verbal and written communications and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. Based upon the record as a whole, the Planning Commission hereby finds that the proposed Amendment to Specific Plan No. 246 is categorically exempt pursuant to Section 15332 of the California Environmental Quality Act.
- B. The proposed specific plan amendment to allow the new industrial building expansion strengthens the existing industrial development, and it concentrates new industrial uses in designated areas.

Proposed Planning Commission Resolution

- C. The project site is located within the Manufacturing zone and the Light Industrial land use designation. Goal 4 of the General Plan underscores the importance of establishing and maintaining quality industrial areas. Furthermore, Objective 4-1 indicates that the area around Gillespie Field should be maintained as the City's prime industrial area. The new industrial building expansion at the existing site will continue to implement the goals and policies of the General Plan.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings, the El Cajon Planning Commission hereby RECOMMENDS City Council APPROVAL of the Amendment to Specific Plan No. 246 to allow for the proposed expansion of the existing industrial development in the M (Manufacturing) zone on the above described property subject to the following conditions:

Planning

1. The City Council shall concur with the Planning Commission's recommendation for this decision to be effective.
2. The Specific Plan amendment ordinance shall be effective prior to the issuance of building permits.
3. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall submit and obtain approval of a one-page, 24" by 36" mylar site plan for the Specific Plan Amendment No. 246 that reflects the following specific notes and changes:
 - A. Include the following note: "This project shall comply with the Standard Conditions of Development from Planning Commission Resolution No. 10649, as applicable."
 - B. The revised site plan shall reflect the applicable comments and include all of the required notes from the Engineering comments contained in Condition No. 7.
 - C. The revised site plan shall reflect the applicable comments from the Padre Dam attached to this resolution as "Exhibit A" and dated 03-28-17.
4. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Submit a lighting plan in accordance with El Cajon Municipal Code Section 17.130.150. The plan shall include the location of all external lighting elements and their respective design. Planning approval of the plan is required before building permit issuance.
 - B. The approved building material types and colors of all exterior elevations shall

Proposed Planning Commission Resolution

- be shown on the construction drawings submitted for building permits and shall be in substantial conformance with the materials approved by the City Council.
- C. Comply with the Engineering comments to the satisfaction of the City Engineer and the Director of Community Development.
 - D. Submit a Landscape Documentation Package (LDP) and Certificate of Completion in conformance with the requirements of Chapter 17.195 and section 17.60.180 of the Zoning Code, and the State's revised Model Water Efficient Landscape Ordinance, and consistent with the guidelines provided in the City of El Cajon Landscape Design Manual. The LDP plans shall be consistent with the approved project site.
5. Prior to building permit final, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
- A. Obtain approval of the landscaping improvements of the development.
 - B. Obtain staff approval of a lighting (photometric) plan prepared by a licensed professional that provides adequate lighting for pedestrian and vehicle safety as part of the building permit set of plans.
 - C. The applicant must provide an acoustical study certifying the indoor noise level is within the allowable decibel levels.
 - D. An Avigation Easement shall be recorded to the benefit of the airport operation of the County of San Diego.
6. Prior to the granting of occupancy, or as otherwise determined by the Director of Community Development, all on-site improvements shall be completed or guaranteed in accordance with the approved site plan. The following items shall be completed and/or inspected:
- A. Complete the installation of the approved landscaping and irrigation system and obtain approval of a Certificate of Completion.
 - B. Satisfy all requirements of the Building and Engineering conditions contained in this resolution of approval.
7. All the ongoing conditions of approval of the Specific Plan No. 246 shall remain in effect.

Engineering and Storm Water

8. Storm water requirements and comments for this action:
- A. Add the following notes to the entitlement Site Plan and implement the Best Management Practices as a condition of the entitlement:

All operations shall comply with the City's Jurisdictional Runoff Management Program (JRMP) and the City's Storm Water Ordinance (Municipal Code 13.10 and 16.60) to minimize or eliminate discharges of pollutants to the storm drain system. Operations shall include implementation of Best Management Practices (BMPs), including food service, as follows:

- a. Only rain is permitted to enter the storm drain system. Discharges (direct or by conveyance) of trash, debris, vehicle fluids, or wastewater (including washing fluids) to the storm drain system are strictly prohibited.
- b. Sweep or vacuum to clean outdoor areas (trash enclosures, sidewalks and parking lots). Power washing in outdoor areas is strictly prohibited.
- c. Maintain all outdoor areas including parking lots to be free from trash and petroleum leaks.
- d. Provide sufficient trash receptacles. Dispose of wastes properly.
- e. The discharge of pool filter back-flush water and any diatomaceous earth to the public storm drain system, including the street gutters, catch basins, and inlets, is strictly prohibited.
- f. All dumpsters used by this project shall have lockable lids. All lids on all dumpsters shall remain closed while dumpster is not directly in use and locked after business hours. All dumpsters shall be properly stored inside a building or in a covered trash enclosure
- g. All trash enclosures must be secured, covered with an impervious roof, and constructed with a berm or grade-break across the entire entrance in accordance with the requirements of Storm Water Attachment No. 2 (available to the public from Engineering staff).
- h. Provide spill response kits for vehicle fluid leaks and grease spills. The spill response kits must be available and quickly accessible to employees. Signage must be posted to clearly denote the location of the kits.
- i. All materials must be stored in a properly covered and contained area that will not be exposed to rainwater, either directly or indirectly.
- j. All storm water runoff treatment control mechanisms (bioretention basins, flow through planters, and other Low Impact Development (LID) BMPs) employed at the facility shall be maintained to be in good working order and replaced as necessary.
- k. All "No Dumping" signage shall be maintained to be legible and replaced as necessary. A template for painting the concrete or asphalt around inlets and catch basins can be provided by the City upon request.

For Engineering and Storm Water requirements on this Planning Action please refer to the Conditions of Approval. This Site Plan may not clearly show existing or proposed improvements in the public right-of-way and should not be used for public improvement construction purposes.”

9. Comply with the following Storm Water requirements:

A. In accordance with the City of El Cajon Municipal Code Section 16.60, this project falls into a Priority Development Project (PDP) category and is subject to the Standard Urban Storm Water Mitigation Plan (SUSMP) requirements. To fulfill SUSMP requirements, a Storm Water Mitigation Plan (SWMitP) needs to be prepared by a Registered Civil Engineer in the State of California. Amongst other things, the SWMitP shall include the following:

- 1) Incorporation of New Development Best Management Practices (BMPs) per the City of El Cajon Best Management Practices (BMP) Design Manual - February 2016 standards, a copy of the manual can be found at:
<http://www.cityofelcajon.us/i-want-to/view/documents-forms-library/-folder-137>
- 2) Runoff calculations for water quality. A specific designed volume or flow of storm water runoff must be captured and treated with an approved (series of) storm water treatment control device(s); the BMP design size is calculated using either: a) the 85th percentile hourly precipitation (County Hydrology Manual isopluvial map) for volume based BMPs, or b) using a rain fall intensity of 0.2 inches per hour (Storm Water Attachment No. 4) for flow based BMPs.
- 3) Runoff calculations for water quantity in compliance with the approved Hydromodification Management Plan (HMP) requirements. Calculate pre- and post-construction peak flow runoff rates (calculated to the nearest 0.1 CFS using % imperviousness). The post-construction flows must not exceed the pre-construction flows.

The City of Santee has determined that the project is subject to Hydromodification Management Requirements per Chapter 6 of the Best Management Practices Design Manual, (February 2016). Compliance with the Hydromodification Management Requirements shall be included with the Storm Water Mitigation Plan and subject to City of El Cajon review and approval.

Proposed Planning Commission Resolution

- 4) Incorporation of Low Impact Development (LID) BMPs for compliance with the California Regional Water Quality Control Board (San Diego Region) Order No. R9-2013-0001 as amended by Order No. R9-2015-0001 and R9-2015-0100; located at:
http://www.swrcb.ca.gov/rwqcb9/water_issues/programs/stormwater/docs/2015-1118_AmendedOrder_R9-2013-0001_COMPLETE.pdf

LID BMPs must be included as a separate section of the SWMitP. The LID section must include a comprehensive review and consideration of LID BMPs and a determination of feasibility and practicality for all mandatory LID BMPs. The LID section must include implementation of Source Control BMPs, Treatment Control BMPs and other LID BMPs where practical and feasible. An electronic copy of the County of San Diego Low Impact Development Handbook can be found online at:
<http://www.co.san-diego.ca.us/dplu/docs/LID-Handbook.pdf>

- 5) A Maintenance Plan per Storm Water Attachment No. 3 to ensure perpetual maintenance of BMPs (Available to the public from Engineering staff on the third floor of City Hall).
- 6) Landscaping Plans that comply with SUSMP requirements (submitted to Planning).
- 7) A Geotechnical Report that includes an evaluation of the proposed storm water best management practices, detention basin design, tree wells, and other features. The geotechnical report must include a statement that includes, at a minimum, the following:

“The project’s grading and drainage plan and Storm Water Mitigation Plan have been reviewed by this firm. The proposed storm water best management practices, detention basin design and the proposed development are technically feasible from a geotechnical standpoint.”
- 8) Flow-through planters with impervious liner are not acceptable. Your design MUST include bio-retention and infiltration.
- 9) Submit a signed and executed Storm Water Facilities Maintenance Agreement with Easement and Covenants. An electronic copy of the Storm Water Facilities Maintenance Agreement with Easement and Covenants can be obtained at the City of El Cajon Engineering staff.

Proposed Planning Commission Resolution

Note: Contact the City of El Cajon Engineering staff to request a sample of the SWMitP document.

- B. The SWMitP, Drainage Study, Storm Water Maintenance and Operations Plan, and FMA shall be submitted to the Engineering staff. The engineer shall obtain applicable checklists, unit costs, notes and instructions from Engineering staff prior to submittal of plans.

10. Storm Water Requirements and Comments Prior to the Issuance of any Building Permit:

- A. In accordance with the City's lot grading ordinance, no grading or soil disturbance, including clearing of vegetative matter and demolition activities, shall be done until all necessary environmental clearances are secured and an Erosion Control Plan (ECP) has been reviewed and approved by Engineering staff.
 - a. The ECP shall control sediment and pollution and be in compliance with the City's 2015 Jurisdictional Runoff Management Plan (JRMP). The plan should show measures to ensure that pollutants and runoff from the development are reduced to the maximum extent practicable.
 - b. The ECP shall be included as part of the required Grading and Drainage Plan.

Note: Pertinent sections of the JRMP document are available to the public on the City of El Cajon website. The architect or engineer shall obtain applicable notes and instructions from prior to submittal of plans.

- B. All building permit plans and landscaping plans shall comply with the approved SWMitP.

Note: Failure to comply with or implement SP conditions is considered a violation of the City's JRMP and may result in a citation with monetary fines, criminal charges, and/or revocation of permit.

11. Private Development requirements and comments prior to the issuance of any building permit

- A. In accordance with the City's lot grading ordinance, no grading or soil disturbance, including clearing of vegetative matter and demolition activities, shall be done until all necessary environmental clearances are secured and a Grading/Drainage Plan and Erosion Control Plan have been submitted,

Proposed Planning Commission Resolution

reviewed and approved. The Grading and Drainage Plan along with an Erosion Control Plan must be prepared by a Civil Engineer, registered in the State of California.

These Plans shall be based on the preliminary soils report and in conformance with the City of El Cajon Jurisdictional Urban Management Program (JRMP) and Standard Urban Storm Water Mitigation Plan Ordinance (SUSMP) which require expansional erosion control measures and future ongoing maintenance even after completion of the project to prevent, treat, or limit the amount of storm water runoff and pollution from the property.

- B. A Drainage Study should be prepared by a Civil Engineer registered in the State of California. The Drainage Study shall include all related tributary areas and adequately address the impacts to the surrounding properties and to the City drainage system. The developer shall provide any needed public and private drainage facilities, including off site drainage facilities (as determined by the study). If public drainage facilities are required, the required improvements need to be included in improvement plans, prepared by a Civil Engineer, registered in the State of California, and submitted to the City for approval.

The engineer shall obtain applicable checklists, notes, and instructions from Engineering staff prior to submittal of plans.

12. General Requirements

- A. An Encroachment Permit is required for any work within the public right-of-way.
- B. Repair all damaged public curb and gutter and sidewalk if required by the City Engineer.

Building and Fire

- 13. Comply with Currently adopted edition of the California Building Code, California Fire Code, California Mechanical Code, California Plumbing Code, California Electrical Code, and Green Building Standard Code.
- 14. A Building permit is required for this project.
- 15. Project must comply with Title 24 disabled access regulations.
- 16. Title 24 energy efficiency compliance and documentation is required.
- 17. Soils report will be required for this project.

Proposed Planning Commission Resolution

18. A licensed design professional is required for this project.
19. An automatic sprinkler system is required.
20. Fire lanes with adjacent fire hydrants must be 26 ft. in width.
21. FDC for new building must be within 20 feet of the fire hydrant location.
22. Undergrounding of all on-site utilities is required.
23. Commercial address numbers shall be visible from the street, contrasting in color from wall surface, and minimum 8 inches in size (individual suite numbers may be 3").

{The remainder of this page intentionally left blank}

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held March 6, 2018, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

ATTEST:

Anthony SHUTE, AICP, Secretary

Aerial Image
1900 Weld Boulevard





Project Assistance Center
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested

<input type="checkbox"/> AZP Administrative Zoning Permit	<input type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input checked="" type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 384-232-04-00

Address: 1900 weld Blvd

Nearest Intersection: Rododo PI

Project Description (or attach separate narrative)

Ammend SP 246 to allow the construction of an additional industrial building. The new building will be approximately 17,060 square feet. The total square footage of the new building and the existing building will be less than the square footage allowed in the original Speciiic Plan

Project Screening Questions

Existing use?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Modification of use?	<input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes
New development or addition?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes
Existing Structures?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes

If yes, please describe.

Industrial and office uses will remain

the new building will have the same uses

adding a new building

Age of the structures, 30 + years

Demolition or substantial modification proposed to site improvements or structures? No Yes _____

Tenant improvements proposed? No Yes _____

Existing vegetation or trees on site proposed for removal? No Yes _____

Proposed grading? No Yes _____ Proposed quantities of cut and/or fill.
522 CYD cut, 1,443 CYD fill

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: Silvergate Financial, Inc

Contact Name: Jason Khoury

Mailing Address: 2505 Congress St. Suite 100 San Diego, CA 92110

Phone: 619 277 8701 Email: jason@mychecklight.com

Interest in Property: Own Lease Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Kenneth D. Smith Architect & Assoc., Inc

Contact Name: Kenneth Smith License: C25315

Mailing Address: 5000 Fesler St. #102, El Cajon, CA, 92020

Phone: 619 444 2182 Email: ksmith@kdsarch.com

Property Owner Information (if different than applicant)

Company Name: _____

Contact Name: _____

Mailing Address: _____

Phone: _____ Email: _____

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹: Jason Khoury Date: Feb. 21, 2018

Property Owner Signature²: Jason Khoury Date: Feb. 21, 2018

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

Silvergate Financial, Inc.

2505 Congress Street, San Diego, CA 92110

List the names and address of all persons having any ownership interest in the property involved.

Silvergate Financial, Inc.

2505 Congress Street, San Diego, CA 92110

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

See Attached

3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

See Attached

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes _____ No X

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

N/A

"Person" is defined as "Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert." Gov't Code §82047.

11/10/2016

Jason B. Khoury

Signature of applicant / date

Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.

OWNERSHIP & OFFICERS

Company: Silvergate Financial, Inc., a California corporation

Date of Incorporation: December 16, 1999

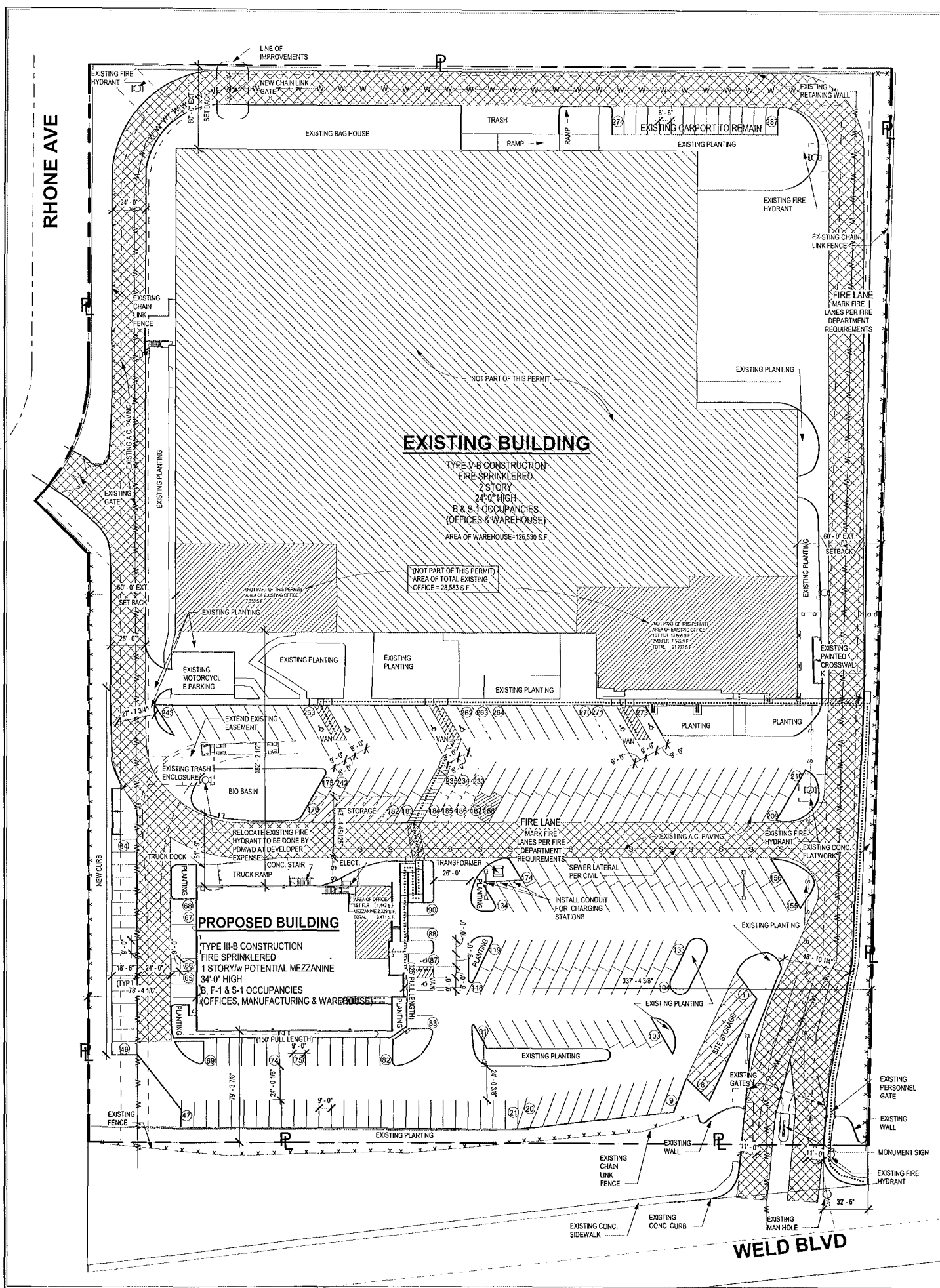
Tax ID Number: 33-0885814

Shareholders of Silvergate Financial, Inc.:

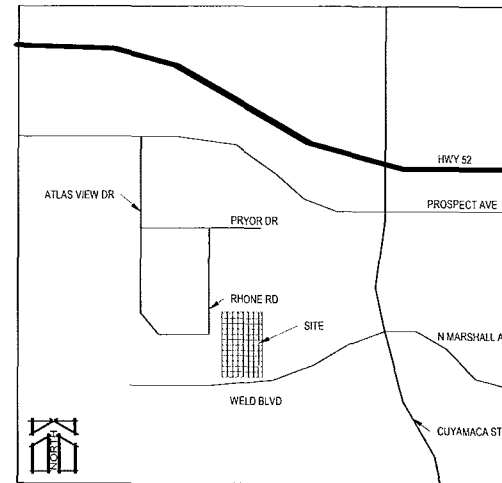
- 25% Brian N. Khoury, Trustee of the Brian N. Khoury Revocable Trust U/A/D January 27, 1987, as amended
2505 Congress Street
San Diego, CA 92110
(619) 294-7700
ID #: 555-51-7029
- 25% Jason B. Khoury, Trustee of the Jason B. Khoury Revocable Trust U/A/D January 27, 1987, as amended
2505 Congress Street
San Diego, CA 92110
(619) 294-7700
ID #: 565-35-6044
- 25% Noelle K. Ludwig, Trustee of the Noelle K. Ludwig Revocable Trust U/A/D January 27, 1987, as amended
2505 Congress Street
San Diego, CA 92110
(619) 294-7700
ID #: 555-51-6459
- 25% Tawfiq N. Khoury and Richel G. Khoury, Trustees of the TNKRGK Family Trust U/A/D December 23, 1976, as amended
2505 Congress Street
San Diego, CA 92110
(619) 294-7700
ID #: 362-34-7203

Officers of Silvergate Financial, Inc.:

Tawfiq N. Khoury – Director and Chairman
Noelle K. Ludwig – Director and President
Brian N. Khoury – Director and Vice President
Tammy Miller – CFO, Vice President and Secretary
Juan J. Lara – Assistant Secretary



VICINITY MAP



OWNER

SILVERGATE FINANCIAL, INC.
2505 CONGRESS STREET, STE 100
SAN DIEGO, CA 92110
Tel: (619) 277-8701
CONTACT: JASON KHORY

SITE INFORMATION

SITE AREA:	441,527 SF	10.13 AC @ 55,334
PROPOSED BUILDING COVERAGE:	12,900 SF	33.4 %
EXISTING BUILDING COVERAGE:	147,503 SF	33.4 %
PROPOSED LANDSCAPE AREA:	4,302 SF	1 %
EXISTING LANDSCAPE AREA:	84,785 SF	19.2 %
PROPOSED PAVING AREA:	-16,194 SF	-3.7 %
EXISTING PAVING AREA:	208,091 SF	47.5 %

TYPE OF DEVELOPMENT: INDUSTRIAL

LEGAL DESCRIPTION

PARCEL 1
PARCEL MAP 10016
CITY OF EL CAJON, CALIFORNIA
APN: 384-232-04-00
ADDRESS: 1900 WELD BLVD
USE: INDUSTRIAL
ZONE: MANUFACTURING (M)

PARKING TABULATION

REQUIRED PARKING:	
EXISTING BUILDING	
GROSS BUILDING = 155,113 S.F.	
OFFICE = 20,450 S.F.	
(28,593 S.F. / 155,113 S.F. = 18%)	
155,113 S.F. / 1 SPACE PER 600 S.F.	= 258.5 REQUIRED AVAILABLE PARKING SPACES
126,530 S.F. / 1 SPACE PER 1000 S.F.	= 126.53 PARKING SPACES @ WAREHOUSE
28,593 S.F. / 1 SPACE PER 600 S.F.	= 47.65 PARKING SPACES @ OFFICE
	= 194.16 REQUIRED CURRENT PARKING

PROPOSED BUILDING	
GROSS BUILDING = 17,060 S.F.	
OFFICE = 3,771 S.F.	
(3,771 S.F. / 17,060 S.F. = 22%)	
17,060 S.F. / 1 SPACE PER 600 S.F.	= 28.43 PARKING SPACES
TOTAL PARKING SPACES REQUIRED AVAILABLE	= 287 PARKING SPACES
TOTAL CURRENT PARKING REQUIRED	= 224 PARKING SPACES

PARKING PROVIDED:	
279 STANDARD SPACES PROVIDED	
4 VAN ACCESSIBLE SPACES PROVIDED	
4 ACCESSIBLE SPACES PROVIDED	
287 TOTAL AUTOMOBILE SPACES AVAILABLE	
260 TOTAL CURRENT SPACES PROVIDED	
NO NEW SPACES REQUIRED	

NOTES

- YARDS USED FOR AREA INCREASES SHALL BE PERMANENTLY MAINTAINED.
- THIS PROJECT SHALL COMPLY WITH THE 2013 EDITION OF THE CALIFORNIA BUILDING CODE (CBC), THE 2013 CALIFORNIA ELECTRICAL CODE (CEC), THE 2013 CALIFORNIA MECHANICAL CODE (CMC), THE 2013 CALIFORNIA PLUMBING CODE (CPC), THE 2013 CALIFORNIA FIRE CODE (CFC), IN ADDITION TO ALL THEIR RESPECTIVE 2013 CALIFORNIA AMENDMENTS, AND THE CURRENT EDITION OF THE CALIFORNIA ENERGY EFFICIENCY STANDARDS.
- NO HAZARDOUS MATERIALS SHALL BE STORED AND/OR USED IN THIS BUILDING IN EXCESS OF THE QUANTITIES LISTED IN CBC TABLES 307.1 (1) AND 307.1 (2).
- ALL PROPERTY LINES, EASEMENTS, STREET AND EXISTING AND PROPOSED STRUCTURES ARE SHOWN ON THIS SITE PLAN.
- A GRADING PERMIT IS REQUIRED FOR THIS PROJECT.
- FIRE HYDRANTS ARE TO COMPLY WITH THE CITY'S ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS FOR ON-SITE FIRE HYDRANTS.
- ALL CURBING WHICH OUTLINES THE ACCESS ROADWAY SHALL BE PAINTED RED. WHITE, 4" HIGH LETTERING READING "NO PARKING - FIRE LANE" SHALL BE STENCILED EVERY 20'-0" ON THE RED CURB. IF NO CURB IS PRESENT, AN 8" WIDE RED STRIPE SHALL BE PAINTED ON THE PAVEMENT. THIS 8" STRIPE SHALL BE MARKED WITH 4" HIGH WHITE LETTERING EXACTLY AS IF IT WERE A CURB.
- BACKFLOW PROTECTION OF WATER CONNECTION TO FIRE PROTECTION SYSTEMS SHALL BE PROVIDED PER UPC, SECT. 603.5.15.

SITE LEGEND

- W — W — EXISTING WATER SERVICE LINE
- S — S — EXISTING SEWER SERVICE LATERAL
- F — F — EXISTING FIRE (WATER) SERVICE LINE
- I — I — EXISTING IRRIGATION (WATER) SERVICE LINE
- E — E — EXISTING ELECTRICAL SERVICE LINE
- G — G — EXISTING GAS SERVICE LINE
- IC1 — EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING POLE MOUNTED LIGHT STANDARD
- PROPOSED POLE MOUNTED LIGHT STANDARD
- POST INDICATOR VALVE
- POST INDICATOR VALVE
- FIRE DEPARTMENT POINT OF CONNECTION
- FIRE DEPARTMENT POINT OF CONNECTION
- REDUCED PRESSURE DETECTION ASSEMBLY (RPDA) OR DOUBLE CHECK VALVE ASSEMBLY (DCVA) PER JURISDICTION
- ① — NUMBER OF PARKING
- ♿ — HANDICAP PARKING SYMBOL

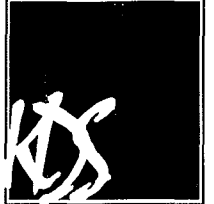
ACCESSIBLE PATH OF TRAVEL

NEW PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (118-307.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM A WALL AND ABOVE 27" AND LESS THAN 60" (118-307.3).

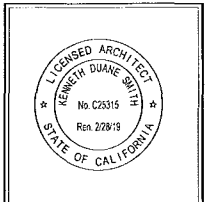
SITE PLAN

1" = 40'-0"

KENNETH D. SMITH
ARCHITECT
& ASSOCIATES, INC.



500 FESLER ST., SUITE 102
EL CAJON - CA - 92020
PH / 619 444 2182
Fax / 619 442 2699



DATE: 6/15/17
JOB NO: 17014
DRAWN BY: A-Jhor
CHECKED BY: Checker

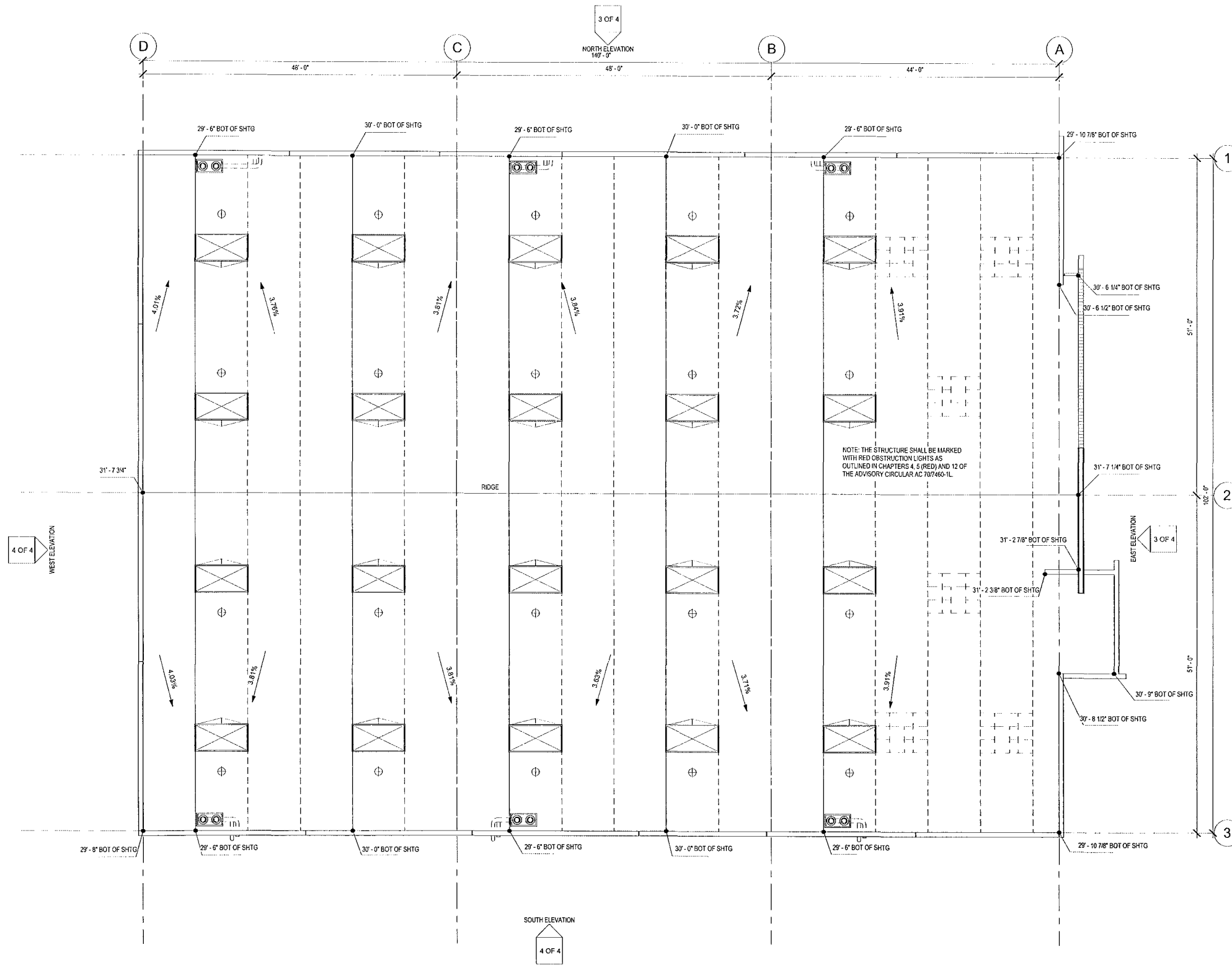
Revision Schedule		
#	Date	Description

project: A NEW BUILDING FOR
1900 WELD BLVD
1900 WELD BLVD, EL CAJON, CA
92020

Exhibit	P.C.	Date	C.C.	Date
CITY OF EL CAJON				
SPECIFIC PLAN NO. 246				
PLANNING COMMISSION		DATE		
CITY COUNCIL		DATE		
ORDINANCE NO.				

1/22/2010 2:30:55 PM D:\REVIT\LOCAL1\GO16 Weld New Building_Cemal\20171_andpoc@hsharch.com.rvt

1/22/2019 2:30:59 PM D:\REVIT\LOCAL\1616 Weld New Building_Central\2017_maoarc@hdsarch.com.rvt

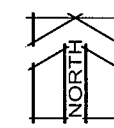


COATED FOAM ROOFING

- THE ROOFING SHALL BE PERMAX COATED FOAM ROOFING SYSTEM BY HENRY COMPANY, INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
- PRIMER: RTC ACRYPRIME-SUBSTRATE
- FOAMBASE: MINIMUM 1" THICK PERMAX RT2035, TWO COMPONENT, RIGID CLASS POLYURETHANE FOAM.
 A. NORMAL DENSITY: 3.0 LB/CU FT WHEN TESTED PER ASTM D 1622.
 B. CLOSED CELL CONTENT: 99 PERCENT WHEN TESTED PER ASTM D 2856.
 C. COMPRESSIVE STRENGTH: 44 TO 50 PSI WHEN TESTED PER ASTM D 1621.
 D. AGED R-VALUE: 6.71
 E. K-FACTOR: 145 BTU·HR./SQ. FT./"F AS MEASURED PER ASTM C 177 OR C 518.
- PROTECTIVE COATING: PRO-GRADE ACRYLIC ELASTOMERIC COATING BY HENRY COMPANY APPLIED AT A RATE OF 3 GAL PER 100 S.F. MINIMUM COATING THICKNESS AT ANY POINT ON THE ROOF SHALL BE MIN. 28 DRY MILS. PROVIDE GRANULES IN THE TOP COAT AT A RATE OF 35# PER 100 S.F. GRANULES SHALL BE PERMAX #12 WHITE ROOFING GRANULES, WASHED AND TREATED TO MINIMIZE DUSTING. APPLICATOR SHALL BE CURRENTLY APPROVED AND LICENSED BY HENRY COMPANY.
- ROOFING CLASSIFICATION:
 A. CLASS 'B' AT COMBUSTIBLE DECKS
 B. CLASS 'A' AT NON-COMBUSTIBLE DECKS
- WHERE A CLASS 'A' ROOF IS REQUIRED AT COMBUSTIBLE DECKS, 1/4" GEORGIA PACIFIC "DENSDECK ROOFBOARD" OVERLAYMENT SHALL BE INSTALLED USING "AMERGLUE" AT A RATE OF 1 GALLON PER 100 SQ. FT. STAGGER JOINTS MIN. 6" FROM THE DECK JOINTS PER THE MANUFACTURER'S SPECIFICATIONS.
- COOL ROOF RATING COUNCIL PRODUCT LISTING FOR PERMAX 120-0620-0022a
- ICC-ES REPORT #ESR-2132
- UL CERTIFICATION NUMBER TGFU.R10185 SYSTEM RT2035.
- SEE THE MANUFACTURER'S SPECIFICATIONS FOR COMPLETE PRODUCT AND INSTALLATION REQUIREMENTS.
- THE CONTRACTOR SHALL ISSUE A NON-DEPRECIATING 10 YEAR WARRANTY FOR LABOR AND MATERIALS.
- FOR LEED PROJECTS ALL PRODUCT CONTAINERS SHALL BE RECYCLED.
- ALL ELEVATIONS SHOWN ARE FROM FINISH FLOOR SLAB TO TOP OF ROOF FRAMING MEMBER.
- SLOPE ROOF 3/8" MIN. PER LINEAL FOOT, U.N.O.

ROOF CLEAR HEIGHT NOTE

26' - 9" MINIMUM CLEAR HEIGHT



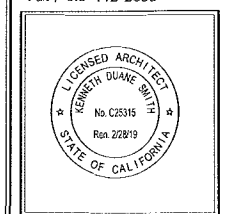
ROOF PLAN

1/8" = 1'-0"

KENNETH D. SMITH ARCHITECT & ASSOCIATES, INC.



500 FESLER ST., SUITE 102
 EL CAJON, CA - 92020
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 Fax / 619 442 2699

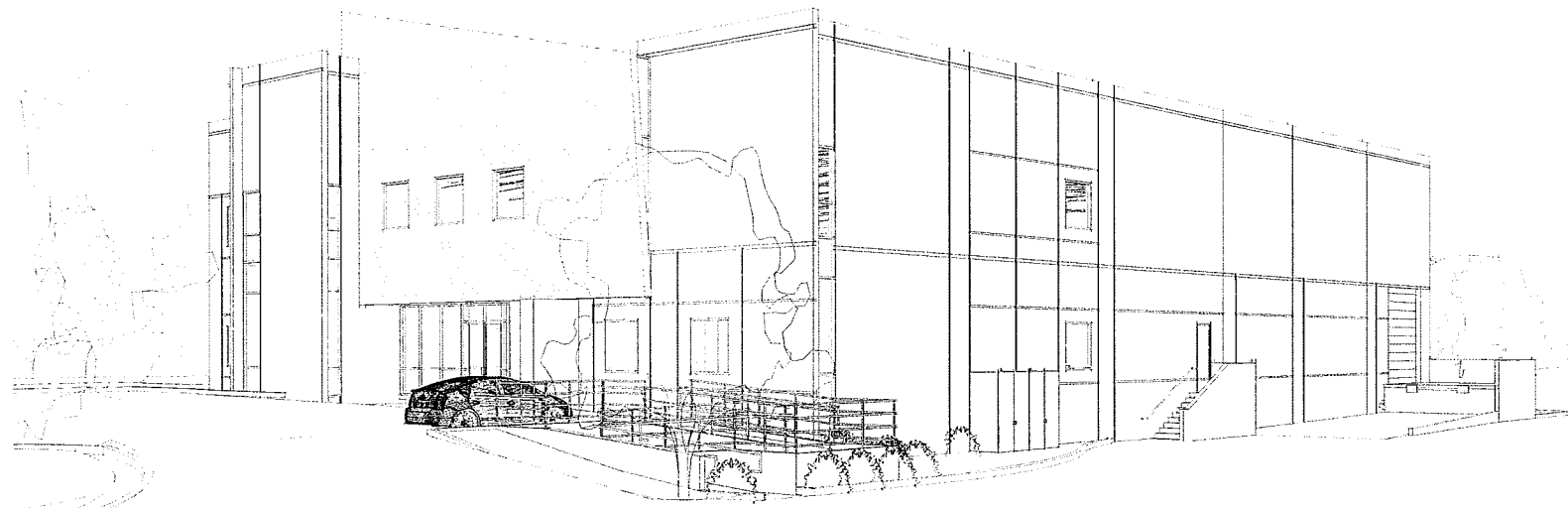


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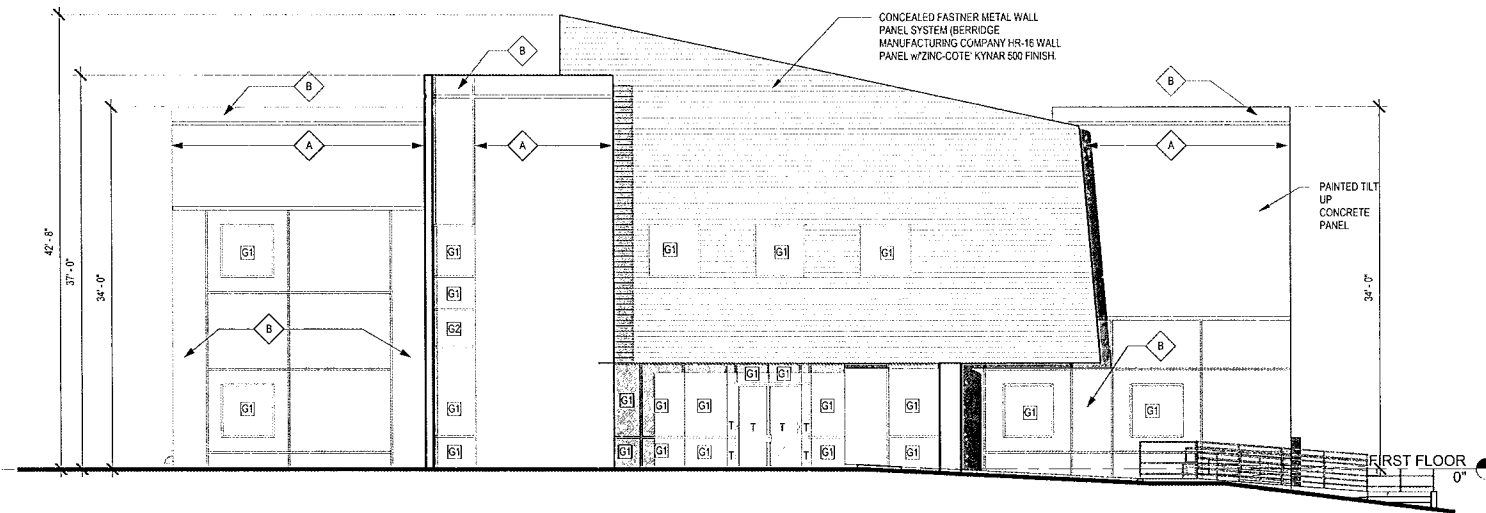
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 JOB NO: 17014
 DRAWN BY: Author
 CHECKED BY: Checker

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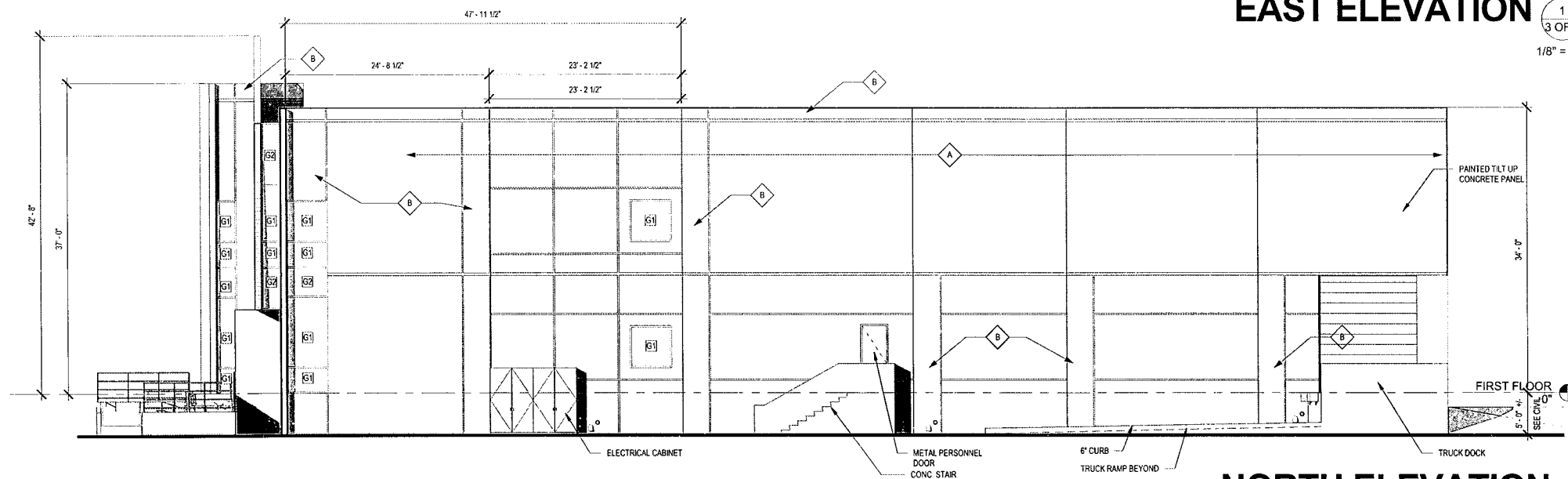
project: A NEW BUILDING FOR
1900 WELD BLVD
 1900 WELD BLVD, EL CAJON, CA
 92020



PERSPECTIVE 3 OF 4



EAST ELEVATION 1 OF 4
1/8" = 1'-0"



NORTH ELEVATION 2 OF 4
1/8" = 1'-0"

EXTERIOR PAINT :

PAINT IS TO BE Sherwin Williams

- A SW 9112 "SONG THRUSS"
- B SW 9109 "NATURAL LINEN"

EXTERIOR CONCRETE OR STUCCO WALLS:
Flat Finish
1st Coat: S-W Epoxy Tilt-up Primer
2nd Coat: S-W A100 Acrylic Flat
3rd Coat: S-W A100 Acrylic Flat

FERROUS & NON-FERROUS METAL:
Semi-gloss Finish
1st Coat: S-W Pro-Cryl Universal Metal Primer
2nd Coat: S-W ProIndustrial Acrylic Semi-gloss
3rd Coat: S-W ProIndustrial Acrylic Semi-gloss

WOOD TRIM:
Flat or Satin Finish
1st Coat: PrepRite ProBlock Latex Primer
2nd Coat: S-W A-100 Acrylic Flat or A-100 Acrylic Satin
3rd Coat: S-W A-100 Acrylic Flat or A-100 Acrylic Satin

A WALL SURFACE INSPECTION BY A REPRESENTATIVE OF THE PAINT MANUFACTURER TO OCCUR APPROXIMATELY 20% OF THE FULL PANEL HEIGHT) FOR APPROVAL BY THE OWNER PRIOR TO BULK PAINT ORDER.

PERSONNEL DOORS AND ROLL-UP DOORS ARE TO BE PAINTED TO MATCH ADJACENT WALL COLORS U.N.O.

EXTERIOR GLAZING:

- G1 VISION GLASS:
1" I.G.U. (W/ CLEAR ANODIZED SPACER)
OUTBOARD PANE: 1/2" GUARDIAN SUNGUARD SNR43 ON CLEAR
INBOARD PANE: 1/2" CLEAR
- G2 SPANDREL GLASS:
1" I.G.U. (W/ CLEAR ANODIZED SPACER)
OUTBOARD PANE: 1/2" GUARDIAN SUNGUARD SNR43 ON CLEAR
INBOARD PANE: 1/2" CLEAR w/ 6mm WARM GRAY FRIT (#4)
- C INDICATES COATED SPANDREL PANE
- S INDICATES TEMPERED PANE
- T INDICATES TEMPERED PANE

GLAZED SYSTEMS FRAMING:

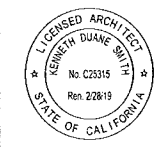
1. ALUMINUM GLAZING FRAMING MEMBERS SHALL HAVE CLEAR ANODIZED FINISH.
2. GLAZED SYSTEMS FRAMING SHALL BE FRONT SET CAPTURED VERTICALS, HORIZONTALS AND PERIMETERS.
3. PERIMETER SEALANT SHALL BE : LIMESTONE COLOR BY DOW-CORNING.
4. ALUMINUM STOREFRONT AND CURTAIN WALL SYSTEMS SHALL BE DESIGNED PER CBC CHAPTER 16, SECTION 1609 - WIND LOADS.

NOTE: THE STRUCTURE SHALL BE MARKED WITH RED OBSTRUCTION LIGHTS AS OUTLINED IN CHAPTERS 4, 5 (RED) AND 12 OF THE ADVISORY CIRCULAR AC 707460-1L.

KENNETH D. SMITH
ARCHITECT
& ASSOCIATES, INC.



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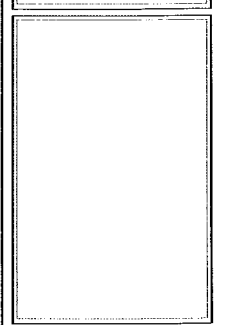
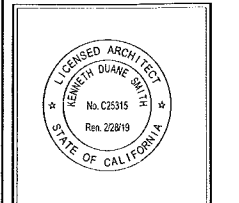
Revision Schedule

#	Date	Description

project: A NEW BUILDING FOR
1900 WELD BLVD
1900 WELD BLVD, EL CAJON, CA
92020



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DATE: 6/15/17
JOB NO: 17014
DRAWN BY: DW
CHECKED BY: KS

Revision Schedule		
#	Date	Description

project: A NEW BUILDING FOR
1900 WELD BLVD
1900 WELD BLVD, EL CAJON, CA
92020

EXTERIOR PAINT :

PAINT IS TO BE Sherwin Williams

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A WALL SURFACE INSPECTION BY A REPRESENTATIVE OF THE PAINT CONTRACTOR SHALL BE REQUIRED (APPROX. 20FT WIDE X FULL PANEL HEIGHT) FOR APPROVAL BY THE OWNER PRIOR TO BULK PAINT ORDER.

PERSONNEL DOORS AND ROLL-UP DOORS ARE TO BE PAINTED TO MATCH ADJACENT WALL COLORS U.N.O.

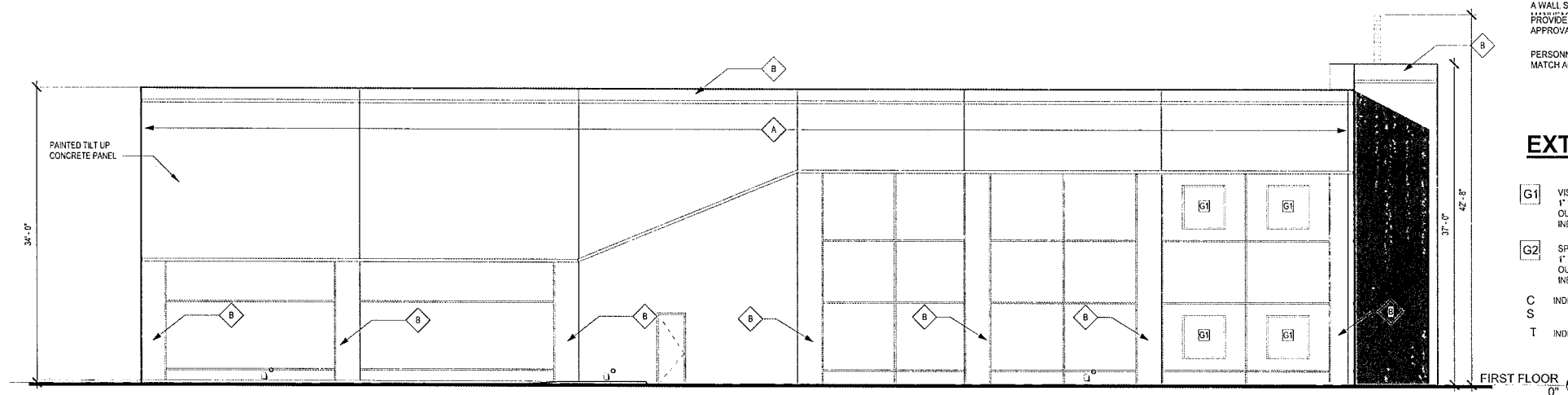
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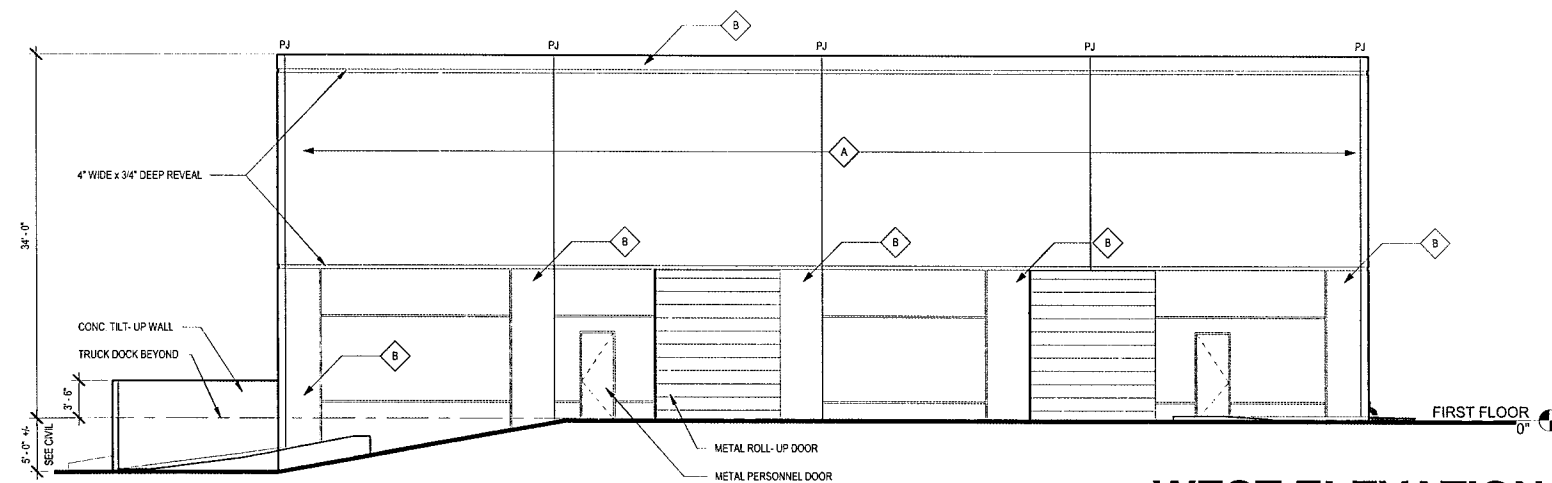
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NOTE: THE STRUCTURE SHALL BE MARKED WITH RED OBSTRUCTION LIGHTS AS OUTLINED IN CHAPTERS 4.5 (RED) AND 12 OF THE ADVISORY CIRCULAR AC 707460-1L.

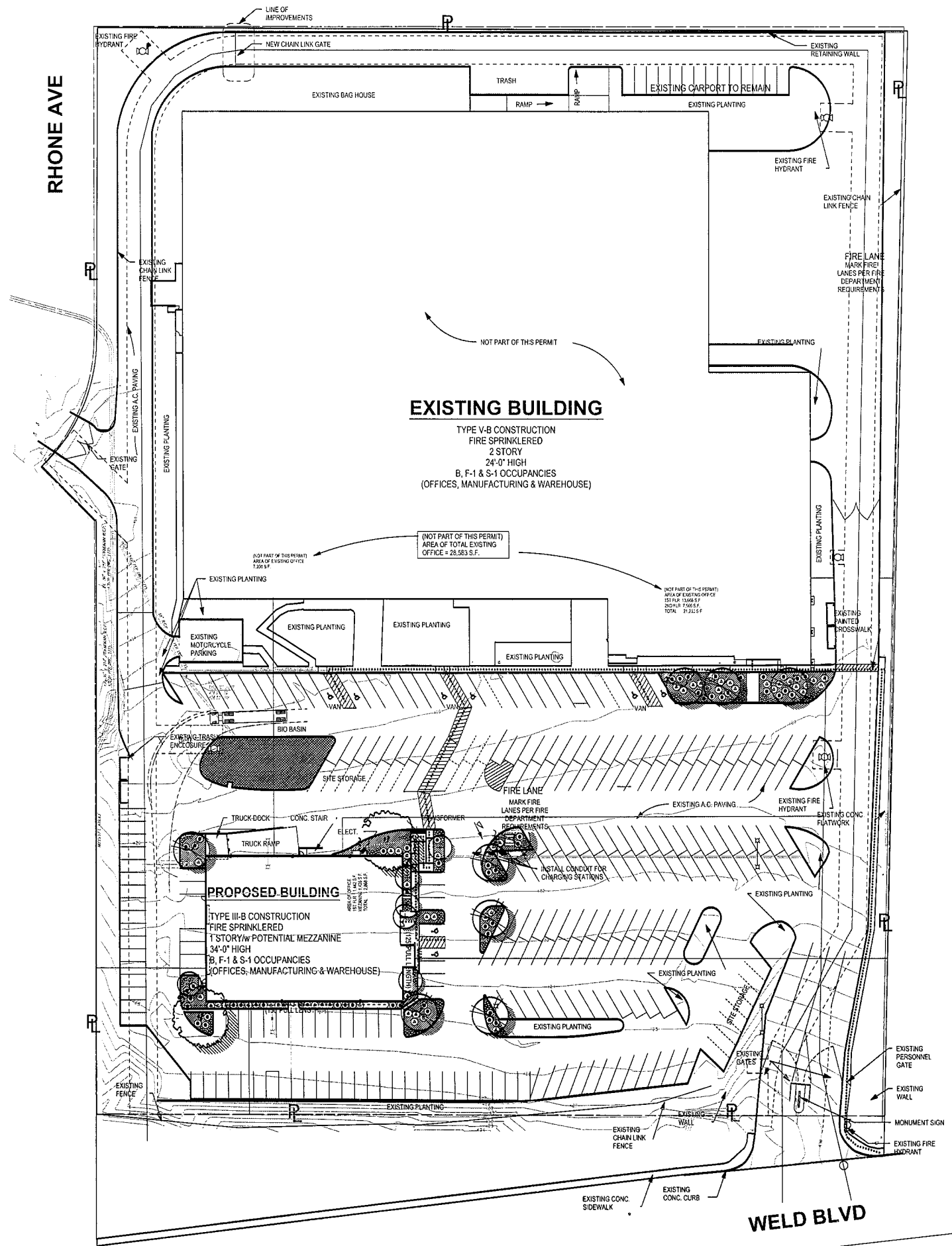


SOUTH ELEVATION 2
4 OF 4
1/8" = 1'-0"



WEST ELEVATION 1
4 OF 4
1/8" = 1'-0"

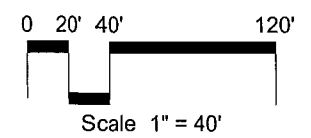
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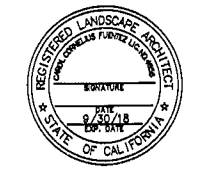
PLANTING LEGEND

SYMBOL	BOTANICAL NAME	SIZE
TREES SUCH AS:		
	QUERCUS AGRIFOLIA / COAST LIVE OAK	24" BOX
	PRUNUS S. ROYAL BURSERIA / FLOWERING CHERRY LASERSTORERIA INDICA / GRAPE MYRTLE LYONOTHAMUS FLORIBUNDUS / CATALINA IRONWOOD	24" BOX
	GEINERA PARVIFLORA / AUSTRALIAN WILLOW QUERCUS AGRIFOLIA / COAST LIVE OAK LOPHOSTEMON CONFERTA / BRISBANE BOX	18 GAL.
SHRUBS SUCH AS:		
	CEANOTHUS S. 'ANCHOR BAY' / CEANOTHUS GISTUS PURPUREUS / PURPLE ROCKROSE	1 GAL.
	PODOCARPUS M. MAKI / SHRUBBY YEW HETEROMELES ARBUTIFOLIA / TOYON SCHEFFLERA (DIZYBOTHICA) ELEGANTISSIMA / NEW CALEDONIAN SCHEFFLERA	15 GAL.
	DRACAENA DRAGO / DRAGON TREE SCHEFFLERA (TURPIDANTHUS) FUECKLERI / ASIAN SCHEFFLERA CARPENTERIA CALIFORNICA / BUSH ANEMONE ROMNEYA COULTERI / MATILIJIA POPPY	15 GAL.
	ROSMARINUS OFFICINALIS SPP. CEANOTHUS SPP. / MILD LILAC CALLISTEMON VIMINALIS 'LITTLE JOHN' / KEEPING BOTTLEBRUSH LITHOPS / STONEFACE	1 GAL.
GROUNDCOVERS SUCH AS:		
	BACCHARIS PILULARIS / COYOTE BRUSH MYOPORUM PARVIFOLIUM / PROSTATE MYOPORUM SEDUM S. PURPUREUM / PURPLE STONECROP SEMPERVIVUM TECTORUM / HENS AND CHICKENS	FLATS @ 18" O.C.
	ARISTIDA PURPUREA / PURPLE THREE-AVON	FLATS @ 18" O.C.

For Planting Legend and Notes, See Sheet L-2



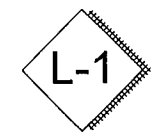
CAROL CORNELIUS, L.L.A.
 CA. #4656
 12044 ROYAL ROAD, #123
 EL CAJON, CA. 92021
 619-251-6372
 CCORNELIUSRLA@GMAIL.COM

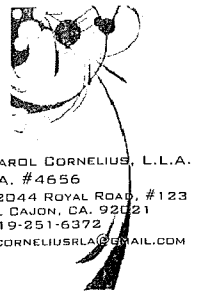


SHEET TITLE
 Landscape Concept Plan

PROJECT NAME
 1900 Weld Blvd.
 El Cajon, California 92020

DATE: 4/24/17
 DRAWN BY: CCF
 JOB NUMBER: 17001
 FILE:
 REVISIONS:
 8-24-17
 9-12-17
 1-15-18





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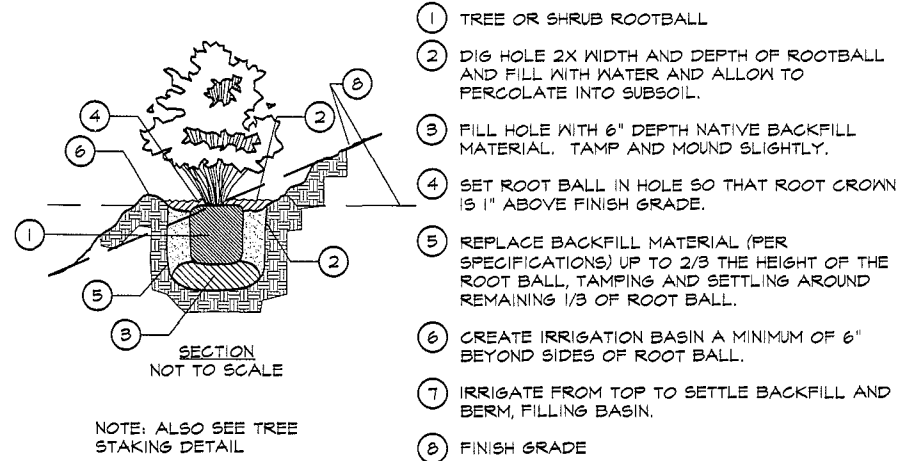


PLANTING NOTES

1. THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING PLANTER AREAS AND PLANT MATERIAL AS INDICATED ON THE PLANS OR AS SPECIFIED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
2. THE PLANTING PLAN IS DIAGRAMMATIC. ALL PLANT LOCATIONS ARE APPROXIMATE. ALL PLANT LOCATIONS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED. PLANT QUANTITIES ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN SYMBOLS AND QUANTITIES SHOWN.
3. APPLY A CONTACT HERBICIDE, WHERE NEEDS ARE PRESENT, PER MANUFACTURER'S SPECIFICATIONS, A MINIMUM OF TEN DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING OR IRRIGATION WORK. HERBICIDES SHALL BE USED IN ACCORDANCE WITH APPLICABLE RULES AND REGULATIONS. NEEDS, INCLUDING THEIR ROOTS, SHALL BE ALLOWED TO COMPLETELY DIE BACK BEFORE PROCEEDING WITH WORK.
4. SUBMIT A SOIL SAMPLE AND A PLANT LIST TO THE "A AND L LABORATORY" IN MODESTO, CA, PRIOR TO ANY PLANTING. SUBMIT THE SOIL TEST TO THE LANDSCAPE ARCHITECT AND FOLLOW THE SOIL LABORATORY'S RECOMMENDATIONS PRIOR TO PLANTING.
5. ALL AREAS LESS THAN 3:1 IN SLOPE TO BE PLANTED SHALL BE CROSS-RIPPED TO A DEPTH OF SIX INCHES AND SHALL HAVE THE FOLLOWING AMENDMENTS SPREAD EVENLY AND THOROUGHLY BLENDED IN (QUANTITIES ARE PER 1,000 S.F.):
 - A. 3 CUBIC YARDS NITROGEN FORTIFIED REDWOOD SHAVINGS
 - B. 100 POUNDS AGRICULTURAL GYPSUM
 - C. 15 POUNDS IRON SULFATE
 - D. 25 POUNDS 16-6-8 SLOW RELEASE FERTILIZER
6. EACH PLANT SHALL RECEIVE AGRIFORM PLANT TABLETS AS FOLLOWS:
 - 1 GAL CONTAINER (1) 21 GRAM
 - 5 GAL CONTAINER (3) 21 GRAM
 - 15 GAL CONTAINER (5) 21 GRAM
- PER 3 INCHES OF BOXED TREE SIZE (1) 21 GRAM
- PER TWO FEET OF BROWN TRUNK HEIGHT (1) 21 GRAM
7. PLANT BACKFILL SHALL BE 50% SITE SOIL AND 50% NITROGEN FORTIFIED REDWOOD SHAVINGS BY VOLUME.
8. PLANTS SHALL BE INSTALLED PER PLANTING DETAILS PROVIDED IN THESE PLANS. PLANT MATERIAL SHALL NOT BE ROOT BOUND. FIVE GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF 6 MONTHS AND MAXIMUM OF TWO YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES AND PESTS.
9. STAKE ALL TREES PER DETAIL. REMOVE NURSERY STAKES AND TIES FROM ALL CONTAINER STOCK. MAINTAIN SIDE GROWTH ON ALL TREES.
10. PLANT ALL AREAS WITH GROUND COVER TO WITHIN 6" OF SHRUB OR TREE TRUNKS. INSTALL A 2" LAYER OF CLEAN SHREDDED BARK MULCH IN ALL AREAS FLATTER THAN 3:1 NOT RECEIVING GROUND COVER, AND A 1/2" LAYER TO ALL AREAS FLATTER THAN 3:1 RECEIVING GROUND COVER, UNLESS OTHERWISE INDICATED ON PLANS.
11. PLACE PLANTS NO CLOSER THAN 12" TO SPRINKLER HEADS.
12. ALL GROUND COVERS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF SIXTY DAYS FOLLOWING COMPLETION OF THE MAINTENANCE PERIOD AND FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER OR OWNER'S REPRESENTATIVE. ALL SHRUBS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF SIXTY DAYS FOLLOWING COMPLETION OF THE MAINTENANCE PERIOD AND FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER OR OWNER'S REPRESENTATIVE. ALL TREES SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF TWELVE MONTHS FOLLOWING COMPLETION OF THE MAINTENANCE PERIOD AND FINAL ACCEPTANCE OF THE PROJECT BY THE OWNER OR OWNER'S REPRESENTATIVE. THE CONTRACTOR, WITHIN 15 DAYS OF NOTIFICATION BY THE LANDSCAPE ARCHITECT OR OWNER, SHALL REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIALS WHICH FOR ANY REASON FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. REPLACEMENT SHALL BE MADE WITH PLANT MATERIALS AS INDICATED OR SPECIFIED ON THE ORIGINAL PLANS, AND ALL SUCH REPLACEMENT MATERIALS SHALL BE GUARANTEED AS SPECIFIED FOR THE ORIGINAL MATERIAL GUARANTEE.
13. PLACE YELLOW OR ORANGE TEMPORARY FENCE AROUND EXISTING TREES TO REMAIN AT DRIP LINE. STOCKPILING, TOPSOIL, MATERIAL STORAGE, VEHICLE USE, FOOT TRAFFIC, AND STORAGE IS PROHIBITED WITHIN THE DRIFLINE. PROTECT ROOTS FROM FLOODING, EROSION, LIME, CUT ROOTS APPROXIMATELY 6" FROM NEW CONSTRUCTION AND SEAL CUT WITH WOOD PAINT MADE BY FLINTKOTE, OR APPROVED EQUAL. MAINTAIN AND DOCUMENT A TREE WATERING SCHEDULE DURING CONSTRUCTION. REPLACE DAMAGED TREES WITH ONE OF EQUAL SIZE.
14. ALL BACKFILL MIXES AND MULCHES SHALL CONSIST OF CLEAN ORGANIC MATERIALS, NATURALLY COMPOSTED. SOIL AMENDMENTS SHALL BE FREE OF ANY TRACES OF ANIMALS, ANIMAL WASTES OR ANIMAL BY-PRODUCTS.

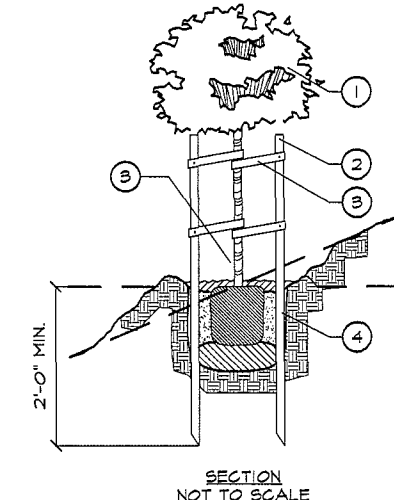
IRRIGATION NOTES

1. THE IRRIGATION PLAN SHALL BE DIAGRAMMATIC. ALL IRRIGATION EQUIPMENT SHALL BE LOCATED IN PLANTING AREAS ONLY, UNLESS NOTED OTHERWISE. REFER TO THE IRRIGATION LEGEND AND DETAILS FOR EQUIPMENT AND INSTALLATION.
2. CONTRACTOR SHALL KEEP THE PREMISES CLEAN AND FREE OF EXCESS EQUIPMENT, MATERIALS, AND RUBBISH INCIDENTAL TO WORK OF THIS SECTION.
 - A. ALL RISERS SHALL BE P.V.C. SCHEDULE 80.
 - B. ALL PIPE FITTINGS SHALL BE P.V.C. SCHEDULE 40.
3. A. ALL WIRE SHALL BE ANG-UP, DIRECT BURIAL TYPE, AND ALL SPLICES AND CONNECTIONS SHALL BE MADE WITH PEN-TITE CONNECTORS OR EQUAL. EACH VALVE ON A CONTROLLER SHALL HAVE A SEPARATE WIRE COLOR. ALL WIRES SHALL BE INSTALLED WITH TWO (2) FEET OF EXCESS WIRE (COILED) AT THE END OF EACH WIRE RUN.
 - B. CONTROL WIRE SHALL BE BUNDLED AND PLACED BENEATH MAINLINE
4. ALL PRESSURE MAINLINES SHALL HAVE EIGHTEEN (18) INCHES OF COVER, AND ALL LATERALS SHALL HAVE TWELVE (12) INCHES OF COVER. TRENCH BACKFILL SHALL BE FREE OF ANY MATERIAL THAT MAY DAMAGE IRRIGATION PIPE OR EQUIPMENT. IN THE EVENT OF BACKFILL SETTLEMENT, CONTRACTOR SHALL PERFORM REQUIRED REPAIRS AT HIS OWN COST.
5. ALL AUTOMATIC VALVES SHALL BE LOCATED WITHIN SHRUB AREAS. BALL VALVES SHALL BE LOCATED IN SEPARATE VALVE BOXES.
6. ALL MAINLINE AND LATERAL LINES SHALL BE SLEEVED WITH P.V.C. SCHEDULE 80 TWICE THE DIAMETER OF THE SLEEVED LINE WHERE IT PASSES UNDER PAVED AREAS.
7. ALL PRESSURE CONTROLLERS SHALL BE SIZE AND TYPE AS NAMED, AND INSTALLED WHERE INDICATED ON IRRIGATION PLAN. CONTROL WIRES SHALL BE SLEEVED IN ELECTRICAL CONDUIT TO MAINLINE. 120 VOLT SERVICE TO CONTROLLER SHALL BE PROVIDED BY THE OWNER.
8. PRIOR TO BACKFILLING IRRIGATION TRENCHES:
 - A. ALL MAINLINES IN THE SYSTEM SHALL BE CAPPED AND PRESSURE TESTED AT 125 P.S.I. FOR A PERIOD OF FOUR HOURS. ANY LEAKS FOUND SHALL BE CORRECTED BY REMOVING THE LEAKING PIPE OR FITTINGS AND INSTALLING NEW MATERIAL IN ITS PLACE.
 - B. ALL LATERALS SHALL BE PRESSURE TESTED AT DESIGN PRESSURE FOR ONE HOUR.
 - C. THE CONTRACTOR SHALL NOT ALLOW NOR CAUSE ANY OF HIS WORK TO BE COVERED UNTIL IT HAS BEEN INSPECTED, TESTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
9. IRRIGATION CONTRACTOR SHALL ADJUST ALL HEADS TO PROVIDE EVEN COVERAGE AND TO KEEP SPRAY OFF BUILDINGS, WALKWAYS, WALLS, AND DRIVES.
10. WHEN THE SPRINKLER SYSTEM IS COMPLETED, THE CONTRACTOR, IN THE PRESENCE OF THE OWNER'S AUTHORIZED REPRESENTATIVE, SHALL PERFORM A COVERAGE TEST OF WATER AFFORDED THE PLANTING AREAS TO ENSURE IT IS COMPLETE AND ADEQUATE. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE AT HIS OWN COST. IRRIGATION CONTRACTOR SHALL MAINTAIN THE SYSTEM FOR A PERIOD OF SIXTY (60) DAYS AND SHALL WATER ON A DAILY BASIS.
11. PRIOR TO FINAL ACCEPTANCE, THE CONTRACTOR SHALL FURNISH TO THE OWNER A COMPLETE 'AS-BUILT' DRAWING AND THREE PRINTS SHOWING EXACT LOCATIONS OF ALL ITEMS INSTALLED.
12. PRIOR TO FINAL ACCEPTANCE, THE IRRIGATION CONTRACTOR SHALL PLACE A LAMINATED, REDUCED COPY OF THE AS-BUILT IRRIGATION PLAN, COLOR-CODED AS TO COVERAGE AREAS FOR EACH VALVE, IN THE CONTROLLER ENCLOSURE.
13. THE IRRIGATION CONTRACTOR SHALL GUARANTEE THE ENTIRE IRRIGATION SYSTEM TO BE FREE OF DEFECTS IN WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE BY THE OWNER.
14. PROVIDE CLEAN SAND BEDDING AND BACKFILL IN MAINLINE TRENCH - 3 INCHES BELOW AND 6 INCHES ABOVE PIPE (MIN).
15. EXISTING IRRIGATION AND PLANTING INDICATED ON PLANS TO REMAIN SHALL BE PROTECTED IN PLACE. IMPROVEMENTS THAT ARE REMOVED OR DAMAGED DURING GRADING/CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR. REPLACEMENT MATERIALS SHALL BE NEW AND APPROVED EQUIVALENT SIZE, TYPE, AND KIND AS ORIGINAL MATERIALS.



NOTE: ALSO SEE TREE STAKING DETAIL

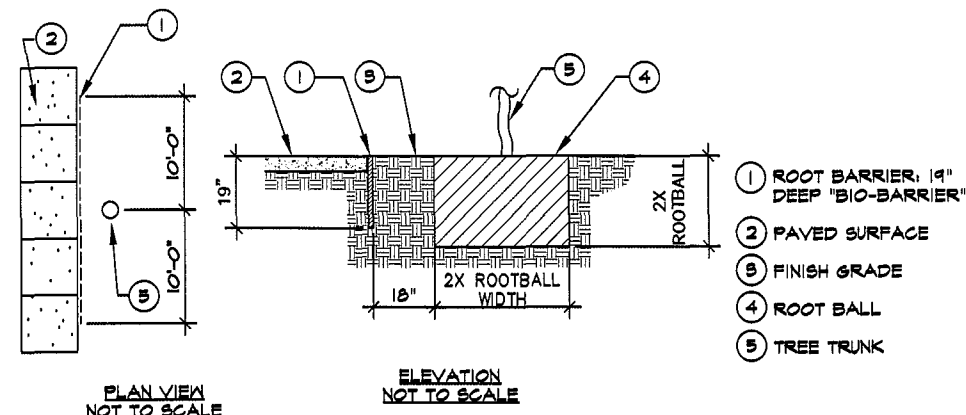
A TREE/SHRUB PLANTING



- 1 TREE PLANTED PER DETAIL
- 2 STAKE BELOW CROWN OF TREE
- 3 CORDED RUBBER TREE TIE - 2 PER STAKE. SECURE WITH 16d GALVANIZED NAIL
- 4 2" DIAMETER X 10' LONG LODGEPOLE PINE STAKE (2 TOTAL)

NOTE: ALSO SEE TREE/SHRUB PLANTING DETAIL

B TREE STAKING



- 1 ROOT BARRIER: 19" DEEP 'BIO-BARRIER'
- 2 PAVED SURFACE
- 3 FINISH GRADE
- 4 ROOT BALL
- 5 TREE TRUNK

C Root Barrier

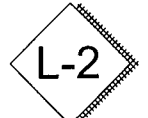
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SHEET TITLE
 Landscape Concept Plan

PROJECT NAME
 1900 Weid Blvd.
 El Cajon, California 92020

DATE: 4/24/17
 DRAWN BY: GCF
 JOB NUMBER: 17001
 FILE:
 REVISIONS:





**KENNETH D. SMITH
ARCHITECT
& ASSOCIATES, INC.**

500 FESLER ST. SUITE 102
EL CAJON - CA - 92020
PH / 619 444 2182
Fax / 619 442 2699

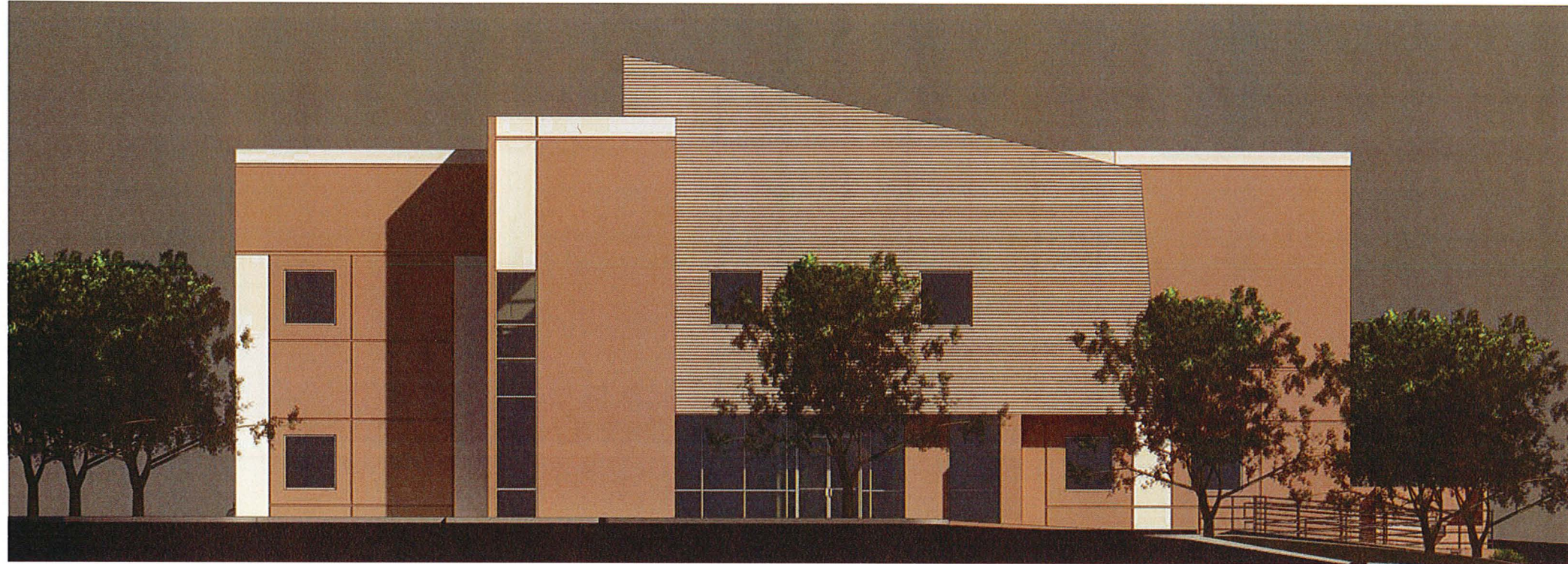


A NEW BUILDING FOR

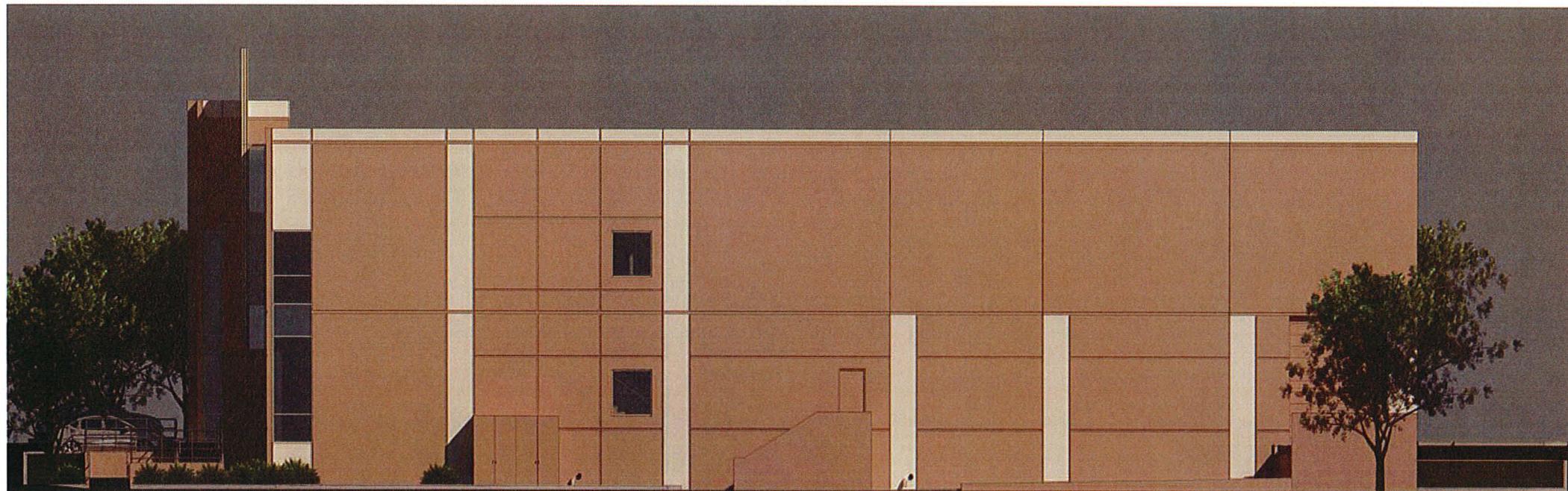
1900 WELD BLVD
1900 WELD BLVD, EL CAJON, CA
92020

DATE: 6/15/17
JOB NO: 17014

C-1



EAST



NORTH



**KENNETH D. SMITH
ARCHITECT
& ASSOCIATES, INC.**

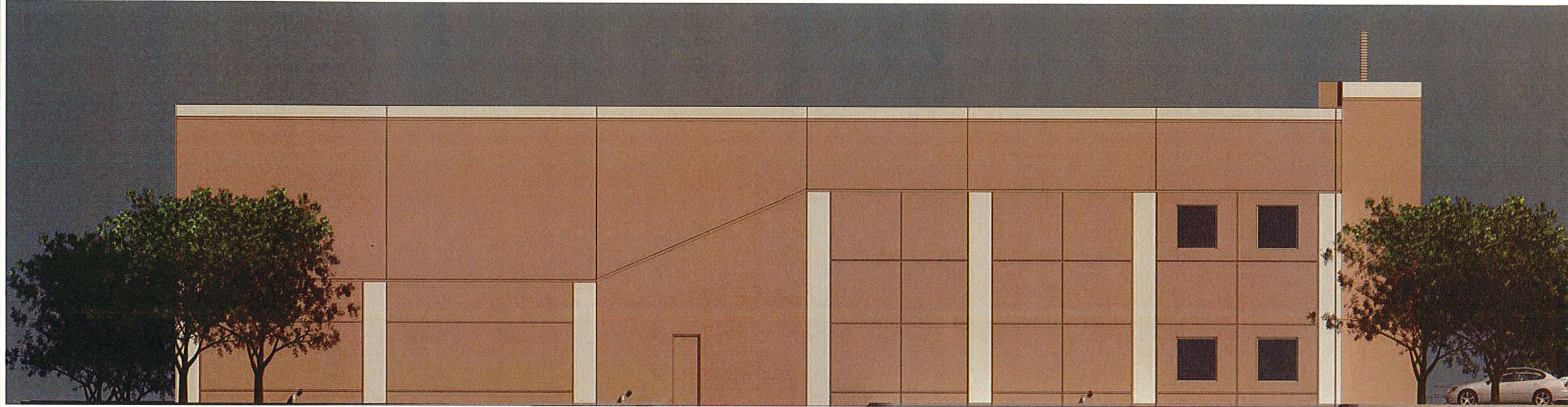
500 FESLER ST. SUITE 102
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A NEW BUILDING FOR

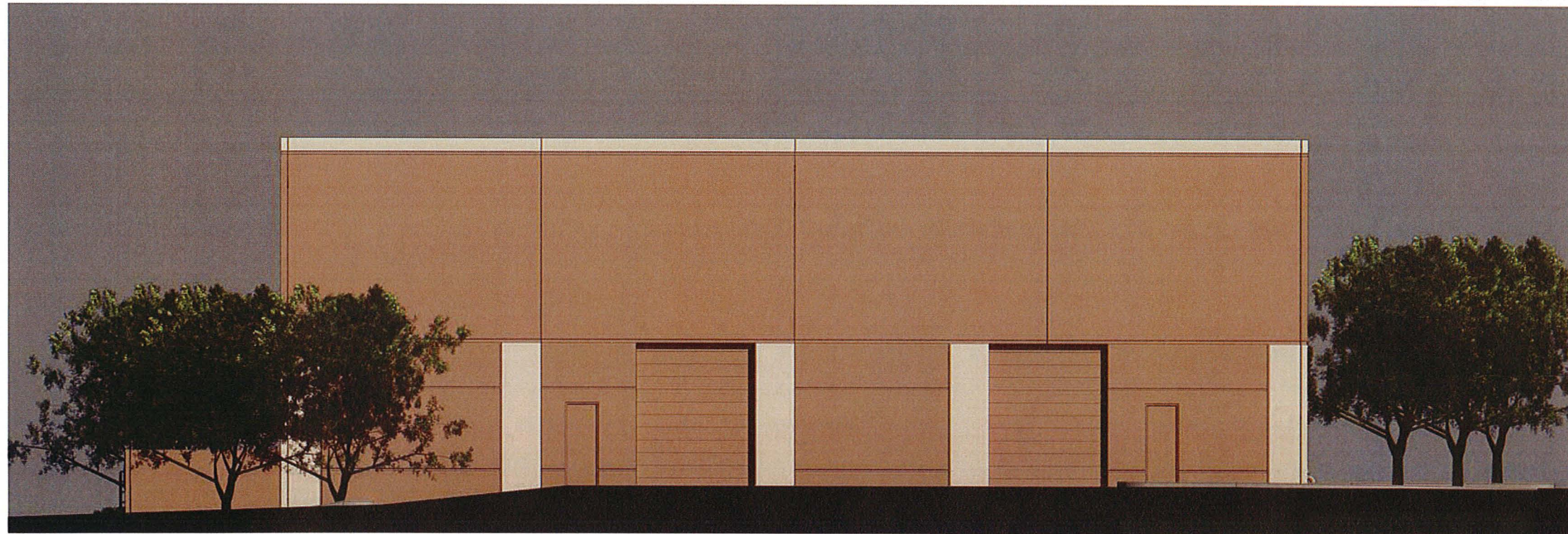
1900 WELD BLVD
1900 WELD BLVD, EL CAJON, CA
92020

DATE: 6/15/17
JOB NO: 17014

C-2



SOUTH



WEST



**KENNETH D. SMITH
ARCHITECT
& ASSOCIATES, INC.**

500 FESLER ST. SUITE 102
EL CAJON - CA - 92020
PH / 619 444 2182
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A NEW BUILDING FOR

1900 WELD BLVD
1900 WELD BLVD, EL CAJON, CA
92020

DATE: 6/15/17
JOB NO: 17014

C-3

Lorena Cordova

From: Aubre Britza <aubrebritza@yahoo.com>
Sent: Thursday, November 02, 2017 10:48 AM
To: Lorena Cordova
Subject: Sigler Building

Hi Lorena,

I am a resident that live on the street Paseo de los Castillos in Santee. I was given your contact info to address some concerns I have about the industrial building behind my property. My first concern is the large air conditioning units they have stacked up in a fire lane. If there was an earthquake they could roll down our bank and cause damage to our property and they are also in the way in case of a fire emergency. My next area of concern is the hours they are operating with loud noise. We can hear loud banging noises very early in the morning around 4 am. Our dog bark at the noise and wake up our kids. The hours seem a tad ridiculous right next to a residential area. I am hoping you can help resolve these concerns.

Thank you,

Aubre Britza

(619) 929-4441 Direct
(619) 819-8829 E-Fax

aubrebritza@yahoo.com

<image001.jpg>

Lorena Cordova

From: Lacie Youtsey <laciyoutsey@gmail.com>
Sent: Wednesday, November 01, 2017 1:35 PM
To: Lorena Cordova
Subject: Concerns regarding Sigler - 1900 Weld Blvd.

Dear Lorena,

I am writing to let you know about some concerns that I have regarding the Sigler building located at 1900 Weld Blvd., (directly behind my home) in hopes that we can work together to address some of these issues.

My concerns:

1. The back up alarms and unloading of trucks as early as 4:00 am some mornings is very loud and disruptive to my and my families sleep.
2. The security light installed on the rear North east corner of the building is extremely bright and shines far beyond the reaches of their property. The light shines into my and my neighbors yards and directly into our bedroom windows where we are sleeping.
3. The AC units that are stored up against their fence and building (on the North East end) are stacked very high and pose a threat if a fire were to break out and evacuation was necessary. If an earthquake or machine operator accidentally knocked one or more of these large units down, they would come toppling down the hill on my property and into my home.

Thank you for your time today and please keep me apprised of how we can work together to alleviate these concerns. It is my goal to be a great neighbor and I would hope that Sigler would feel the same way.

--

Lacie Youtsey
619-972-2602
laciyoutsey@gmail.com

Lorena Cordova

From: lai tam <lailintam2003@yahoo.com>
Sent: Monday, October 09, 2017 11:24 AM
To: Lorena Cordova
Subject: Silver gate financial new industrial building

Hi Lorena,

I received a letter saying that a land use development project will be near my home, is it possible for you to send me the project plans information through email?

Permit number: Amendment to Specific Plan No. 246

Your help is greatly appreciate.

Thank you,

Lai Tam

Owner of 9515 paseo de Los castillis

Sent from Yahoo Mail for iPhone

Lorena Cordova

From: Jason Khoury <jason@mychecklight.com>
Sent: Saturday, November 11, 2017 4:10 PM
To: Lorena Cordova; Ken Smith (Ksmith@kdsarch.com)
Cc: Gregg; Matt Jones (Matt@hamannco.com)
Subject: Update to City of El Cajon - 1900 Weld Cycle3 Neighbor Issues

Dear Lorena,

As promised, we have spoken to the tenant whose operations are the subject of the neighbors concerns. We have a plan that we are going to implement immediately that we hope that once implemented, will provide immediate relief to the affected neighbors. I will list the issues that were concerns raised to us and what our plan is. I hope that you would be willing to recognize that we are doing our best to be good neighbors.

The issues are:

1. Tenant stacking HVAC equipment up at North fence line and the neighbors are complaining it is an eyesore and have concerns over equipment falling down if there is a seismic event.
 - a. We have spoken with the tenants Operations / Yard Manager and requested that they do not stack any equipment higher than the top of the chain link fence with privacy screen.

They have agreed to do so and will begin working on it this week.

2. Bright security light at rear of property shining into neighbor's homes.
 - a. We have spoken to the tenant and I have spoken to Hamann Construction and we will be moving the light from the side of the building to the corner of the lot. We will be installing a light on a post aiming toward the building which should alleviate any lights being shined into neighbors homes.

I have authorized Hamann and Ken Smith to move forward on this expeditiously but we will likely need to go to the City of El Cajon with a plan and get permission to do so. I am hopeful that this process won't take long and that we will be able to relocate the light in the next few weeks at most.

We will also explore using a motion sensor LED light which hopefully will only go on if needed and also be a softer / less harsh light than the tungsten light that is currently installed.

3. The big issue: Noise. There are complaints that there is noise starting at 4AM. The noise as reported is coming from trucks and more specifically the back up alarms and banging inside trucks.

I spoke with the Operations / Yard Manager and with Ken Smith to better understand what is going on and what is causing the noise. From what we have learned, the trucks are staged empty at the loading docks in the evening what the neighbors are hearing are the forklifts loading the trucks starting at 4:00 AM-ish so the trucks are in the position to leave at 6:30AM.

I would like to note the tenant was understanding of the neighbors' concerns and will do what they can to prevent excess noise and to be as good of neighbors as possible.

Ken, Hamman Construction and I have come up with the following plan to address the noise and while I wish it could be done tomorrow, there are lead times which I will explain below.

- a. Step 1: We consulted with an acoustic engineer to give us some preliminary feedback and direction as to how to proceed. Based on that conversation we will be doing:
- b. Step 2: Back Up Alarms – we have found that there are “smart back up alarms” which adjust sound based on the ambient noise around and are 5b higher. This should reduce the amount of back up alarm noise greatly. *Please note, the Tenant can not disable or muffle a safety legally so we will have to work with smart sensors.
- c. Step 3 - Dock Skirts: We spoke with the tenant and understand which docks are being loaded first thing in the morning. Based on that information, Hamann Construction was authorized by me to purchase 5 dock seals (tenant only uses 5 docks). The acoustical engineer feels that dock seals will close the space between the trucks and the edge of the doors which should greatly in reducing any beeping sound on the exterior of the building.

The challenge here is the 4 to 6 week lead time. I have authorized the purchase, Hamann is coordinating with the subcontractor to come out and field measure as soon as possible and our hope is that in 6 weeks these will be in.

- d. Step 4 – Acoustical Testing: per the acoustician, once the sound wall is in he can come out and test and establish a baseline of noise. More importantly, with that information he will be able to better provide us with direction if additional steps are needed.
- e. Step 5 – Sound Wall – if by chance the acoustical engineer states we need sound wall, I have informed Hamann Construction to please work with Ken Smith to be in a position to install sound wall per the AE's report as quickly as possible. The AE report and more importantly their recommendation will be critical in wall design. We will likely need to get a permit for this as well from the City of El Cajon.

This last step is what will take the longest. We will not know if it is needed or if it is, how tall and how long. We are committed to take action to install sound wall if needed.

So that is the update. We are getting going on #1 and #2 now. Number 3 is underway but won't be installed till the outside date of 6 weeks from now. Hopefully that will address it all but if not, we will make sure the sound issues are gone utilizing the sound wall.

That's the update. I hope you can support that we are making a concerted effort. Finally, I hope you can pass on any of this information to the individuals who reached out to you.

Thank you Lorena,

Jaosn Khoury

Thank You,
Jason Khoury
CheckLight Home Services LP
jason@mychecklight.com

Lorena Cordova

From: Rauch, Tamara <TRauch@semprautilities.com>
Sent: Tuesday, October 31, 2017 12:07 PM
To: Lorena Cordova
Subject: RE: Silvergate Financial New Industrial Building Project

Ms. Cordova,

You are correct, in that the project site @ 1900 Weld does not affect my view, nor my existing wildlife concerns. In the time since I sent you an email, I have clarified that on my end. I apologize for bothering you.

This project does however, affect the noise restrictions in the area. They often begin working at 0400 in the mornings, including Saturdays and this does affect our neighborhood directly.

I have already spoken to both neighboring city offices (El Cajon & Santee) and they have confirmed. As a neighborhood we hope to come to an agreeable resolution with the landlord and cities combined.

Thank you for responding to my original letter of concern.

Tamara Rauch

From: Lorena Cordova [mailto:LCordova@cityofelcajon.us]
Sent: Tuesday, October 31, 2017 10:44 AM
To: Rauch, Tamara <TRauch@semprautilities.com>
Subject: [EXTERNAL] RE: Silvergate Financial New Industrial Building Project

Ms. Rauch,

Good morning. Thank you for taking the time to email me your concerns regarding the proposed project site. I have reviewed and considered your comments for the proposed project and I wonder if we may be referring to two different sites. The site of the proposed project is 1900 Weld (Assessor Parcel Number 384-232-04) which already has an existing industrial building currently being operated and has surface parking and landscaping. The project site is fully developed with improvements but the owner is seeking to add an accessory industrial office building of approximately 14,000 square feet with modifications to the parking lot and landscaping. I've attached an aerial image and a site plan of the proposed project site and extent of improvements. I believe, unless I am mistaken, that your concerns may be in reference to the vacant piece of land located to the northeast of the project site that is at the northwest corner of the intersection of Weld and Cuyamaca (APN 387-190-09). If you could, please take a minute to see the attachments and confirm if your concerns are in reference to the project site.

Regarding the proposed project, the project has been reviewed. The project adheres to the development standards, including parking and landscaping, per the underlying zone. As for the safety due to airport proximity, the applicant has already received the required approval from the Airport Authority to add the proposed accessory industrial building to ensure it is not creating an airspace navigation issue. Also, the City does not have preservation of views or established preservation view corridors so we would not be able to prevent development due to view obstructions on the vacant site or any other piece of land in the city. Lastly, every project we review is reviewed under CEQA and this is no different. I can assure you that the project overall has been reviewed for compliance with standard rules and regulations.

If you have additional concerns, want to meet to look at all the plans and/or further discuss the proposed project site, please just let me know. I would be glad to further discuss the development.

I'll wait to hear from you.

Lorena

From: Rauch, Tamara [mailto:TRauch@semprautilities.com]
Sent: Friday, October 06, 2017 6:41 AM
To: Lorena Cordova <LCordova@cityofelcajon.us>
Subject: Silvergate Financial New Industrial Building Project

Ms. Cordova:

I write you in reference to the above named project being considered in the city of El Cajon, at the foot of the Gillespie Field Airport runway.

I am a homeowner whose property backs up to the open field, (corner of Weld & Cuyamaca) being considered as the planned site. I strongly object to the consideration of this project for many obvious sensible, environmental and safety reasons. Not to mention the idea of looking out my back door at an industrial building and the noise implications it implies at the same time.

In this rare, open field or piece of land you can find many species of wildlife. There are rabbits, squirrels, snakes, coyotes, burrowing owls, hawks and even cranes at certain times of year. I am sure you can appreciate the beauty, and as I mentioned "rare" opportunity to observe and learn, from such a magical presence of nature right outside our windows. Prior to moving into this neighborhood seven years ago, I had no idea that such an alluring animal kingdom resided here in the urban areas of El Cajon & Santee.

Referencing **Safety** is very necessary, and yet hardly surprising. In fact, I am sure you recall the not so long ago plane crash, on September 3, 2015 that fatally injured two people. This plane crashed in the residential neighborhood just a few yards west of this open field and Gillespie Field Airport runway. After, I might add taking off a portion of the roof at a neighboring home and smashing a few cars.

As a community, we are extremely lucky and grateful that more were not injured or killed in this tragedy. Placing increased obstacles at the end of this runway would be an additional hazard and safety concern.

For it is in this direction, that the planes take off. As I sit in my yard enjoying the airplane landings and departures, let's not ignore the fact that Gillespie Field has a large population of student pilots. Many "lift-offs" are quite shaky and all part of this learning process. "Touch & Go" is a term I have become increasingly familiar with in my last few years, and again part of the everyday learning that goes on at this small east county airport and flight school.

Additionally, I cannot ignore the negative impact this project would have on my property *value and quality of life*. The amazing view I currently enjoy from my backyard, would be non-existent.

You see, at the end of a long day I can look out from my backyard swing and experience a whole world of unassuming wonder. I can watch as a coyote or hawk stalk their prey, gander at the San Diego Trolley as it buzzes on by, and even bask in the evening lights, that illuminate the airport runway.

Giving practical thought and hard evaluation, along with thorough environmental review to this planned project, I am confident that the city will agree with what I already know to be true. This site is not well suited for

development at this time. Especially tall industrial buildings, allowed to negatively affect the safety of the airport and the neighboring community.

Please, I implore you, don't take this all away.....

Cordially,

Tamara Rauch
9513 Paseo de Los Castillos
Santee, CA 92071
(619) 443-6757 Hm
(619) 244-1122 Cell

This email originated outside of Sempra Energy. Be cautious of attachments, web links, or requests for information.



City of El Cajon

Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	3
Project Name:	Family Health Center Expansion
Request:	General Plan Amendment, Zone Reclassification, and Site Development Permit
CEQA Recommendation:	Mitigated Negative Declaration
STAFF RECOMMENDATION:	RECOMMEND CITY COUNCIL APPROVAL
Project Number(s):	General Plan Amendment No. 2017-02, Zone Reclassification No. 2326, and Site Development Permit No. 1509
Location:	East side of Taft Avenue between Main Street and Lexington Avenue
Applicant:	Family Health Centers of San Diego, Inc. (David Wisenhunt), davidw@fhcsd.org, 619-515-2569
Project Planner:	Lorena Cordova, lcordova@cityofelcajon.us, 619.441.1539
City Council Hearing Required?	Yes March 27, 2018
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolution in order recommending City Council APPROVAL of the proposed Mitigated Negative Declaration and Mitigation, Monitoring, and Reporting Program 3. MOVE to adopt the next resolution in order recommending City Council APPROVAL of the proposed General Plan Amendment 4. Move to adopt the next resolution in order recommending City Council APPROVAL of the Zone Reclassification 5. Move to adopt the next resolution in order recommending City Council APPROVAL of the Site Development Permit

PROJECT DESCRIPTION

This request is for a new 2,860 square-foot medical office building at an existing surface parking lot to expand operations for the Family Health Centers. The subject site is located on the east side of Taft Avenue between Main Street and Lexington Avenue, and is immediately behind Family Health Center, addressed as 525 East Main Street. The

proposed project requires approval of a General Plan Amendment to change the land use designation from High Density Residential to General Commercial, a Zone Reclassification to change the zoning designation from Parking to General Commercial, and a Site Development Permit (SDP) to allow for the new medical office building. A Mitigated Negative Declaration (MND) was prepared for project.

BACKGROUND

General Plan:	High Density Residential (HR)
Specific Plan:	Specific Plan (SP) Nos. 324 and 358
Zone:	Parking (P)
Other City Plan(s):	Downtown Master Plan (SP No. 182)
Regional and State Plan(s):	N/A
Notable State Law(s):	CEQA and Senate Bill 18

In 2016, Family Health Centers of San Diego, Inc. was issued building permits for the rehabilitation and interior remodel of the existing vacant building to operate a medical office building. Administrative Zoning Permit No. 53 was approved for exterior modifications to the building façade.

Project Site & Constraints

The lot is 103,747 square feet (2.38 acres) and trapezoidal shaped. The site is currently developed with an existing surface parking lot with perimeter fencing, exterior yard landscaping and accessed by two existing driveways off Taft Avenue. The subject property is adjacent to Taft Avenue on the west, a public alley to the east and south, and the Family Health Center's primary building to the north.

The site had been vacant and underutilized for a number of years and had become a public nuisance with transient activity. Deteriorated site conditions were sustained over time with poor lighting, cracked pavement, and littered with trash. Unsafe conditions and trespassing resulted in the need for perimeter fencing to secure the property with a chain link fence that had concertina wire.

Surrounding Context

The property is surrounded by a mix of commercial and residential uses. Properties fronting along Main Street are commercial oriented and properties along Taft Avenue are residential oriented. Properties surrounding the subject site are developed and zoned as follows:

Direction	Zones	Land Uses
North	C-G	Medical office, restaurants, bars and retail stores
South	RM-1500	Apartments
East	P	Surface parking
West	RM-2200	Apartments

General Plan

The land use designation of the subject property is High Density Residential (HR) according to the General Plan Land Use Map. The HR land use designation is intended to accommodate 20 to 30 dwelling units per acre on properties designated as such. The project proposes to change the land use designation from HR to General Commercial (GC) to accommodate for commercial utilization of the property in conjunction with the abutting parcel's existing Family Health Center operations.

Specific Plans

SP Nos. 324 and 358 govern the interconnecting access alleys in the vicinity of the project site. On June 11, 1984, the City Council approved an amendment to SP No. 324 that provided interconnecting access off the alley that borders the east side of the property and extends to Lexington Avenue. On October 8, 1984, City Council approved SP No. 358 that allowed interconnecting access through the alley that borders the south side of the property. The proposed project seeks no modifications to the interconnecting access off either of those alleys.

Downtown Master Plan

The Downtown Master Plan (SP No. 182) is the implementing mechanism for SDA No. 9 and it is intended to create a mixed-use urban village in downtown El Cajon. It includes special development standards and design requirements for new developments and external building renovations while emphasizing a pedestrian friendly environment. The project is within the boundaries of the master plan which allows development of sites subject to compliance with the underlying zone's allowable uses and development standards.

Municipal Code/Zoning Code

The subject property is within the Parking (P) zone which is intended to provide for public and private parking facilities in areas where it is deemed desirable to have parking areas, but not necessarily the accompanying use or facilities. The applicant is proposing a rezone to General Commercial, which allows a medical office use by right within the

subject zone and, furthermore, the applicant has requested approval of an SDP for the proposed construction of the new commercial building.

DISCUSSION

The proposed project consists of a new commercial building of 2,860 square feet for medical office at the existing subject property. The medical office building is proposed to offer physical therapy services as an extension of the existing Family Health Center operations. The project includes modifications to the existing surface parking lot, landscaping, upgrades to trash enclosure and on-site lighting.

Land Use

The existing land use for the property and zoning allows for parking facilities that can be used for public or private utilization as currently being used on a 103,747 square foot site. The project requests a General Plan Amendment from High Density Residential (HR) land use designation (20 to 30 dwelling units per acre) to General Commercial and a Zone Reclassification from P to C-G. The site would allow for commercial development of the site under the proposed land use and zone. The site would still be used for parking and include a new commercial development.

The area surrounding the site is primarily commercial along Main Street and residential along Taft Avenue. Uses that front on Main Street include restaurants, bars, retail stores and offices. Uses along Taft Avenue consist of primarily multi-family residential developments.

The proposed commercial land use designation and zone for the property is a logical extension of the Main Street commercial corridor which could allow for the expansion of the Family Health Center located on the southeast corner of East Main Street and Taft Avenue.

Site Design

The existing site is a surface parking lot that is for private parking by patients and employees of the Family Health Center operations. The proposed project is for the construction of a 2,860 square foot building situated on the rear portion of the lot. The building is proposed to be surrounded by landscaping with some restriping of the existing parking lot.

Development Standards

The table below provides a comparison of the proposed C-G zone standards and the project. Standards discussed elsewhere in this report are excluded from the table.

Development Standard	C-G Zone	Proposed Project
Setbacks	10 feet (minimum)	304 feet
Lot Coverage	No requirement	Not applicable
Building Height	35 feet	17 feet 6 inches

The site has an existing securing chain link fence and an electric gate near the two existing driveways for access onto the site. Security fencing is not allowed in a commercial zone. However, an alternative that has routinely been accepted by the Planning Commission is a wrought-iron fence which is consistent with commercial zone standards and the Downtown Master Plan. The applicant is asking for consideration of a chain link fence. It is important to note that the applicant’s request is not in line with the City Council’s high quality design expectations.

Design, Architecture, and Exterior Building Materials

The new medical office building is proposed as a one-story, square-shaped, primarily concrete constructed building. The entrance to the building faces the west and features a pronounced entry with an oversized aluminum canopy. Each of the building elevations include glazing with rectangular-shaped windows and accentuated by white frames. Building façade includes aluminum channel reveals, horizontal aluminum accents bands and decorative wall sconces. The building architecture is simple and contemporary. The style and accents of the proposed building mimic the existing Family Health Center.

Building materials include aluminum, plaster, and concrete. Color palette includes gray, whites and blue tones consistent with the primary Family Health Center building. Project elevations and colored renderings are included as an attachment to the report.

Lighting

The project site plan includes existing dilapidated freestanding light poles and some building façade-mounted lights on the Family Health Center’s main building. Pursuant to ECMC section 17.130.150, adequate lighting must be provided to ensure pedestrian and vehicular safety, but not such that would create a nuisance on adjacent properties. Lights must be of an appropriate size and intensity and must be directed downward and hooded to prevent casting glare onto adjacent properties. The proposed project will include upgrades to the existing on-site light standards provided throughout the parking lot. Additionally, the new building will feature façade mounted light fixtures that are in concert with the overall theme of the project.

Parking

In the C-G zone, the building area (2,860 square feet) requires 11 parking spaces. The surface parking lot provides 83 on-site parking spaces. The existing parking lot will need to be restriped to accommodate all the required parking spaces. It should be noted that the parking lot has historically been used to provide for parking to the adjacent building that is currently occupied by the Family Health Center and both parcels share the same ownership but there is no governing entitlement requiring them to do so. The parking lot will continue to be used to serve as parking for the Family Health Center operations.

Landscape

The site has existing landscaping totaling 1,578 square feet. The project proposes to add 1,443 square feet of additional landscaping, and will require a Landscape Documentation Package and compliance with the City's Water Efficient Landscape Ordinance. The conceptual landscape plan reflects a mix of groundcover, shrubs and trees. Species include blue chalk stick groundcover, new gold lantana shrubs, and Australian willow trees. All existing landscape planters will be rehabilitated and enhanced.

Lot Consolidation

The existing parking lot and Family Health Center are on individual parcels, and are owned and operated by the same owner. Pursuant to Policy 9-4.4 of the General Plan, commercial activities are to be located and designated so as to benefit from the access afforded by major streets. The Family Health Center's main operations occur at the building that fronts on Main Street, which is a primary thoroughfare and commercial corridor. Per Policy 9-4.14, commercial areas are "encouraged to develop in depth to provide adequate room for beneficial design." Furthermore, the same policy in the General Plan states that "the assemblage of properties into one legal lot or one completely integrated development having frontage upon a primary thoroughfare can be considered for commercial zoning to a depth beyond the commercial designation on the General Plan as long as it does not adversely impact noncommercial areas. Based on the fact that the two parcels are owned and operated under the same ownership and for consistency with the goals and policies of the General Plan, a lot consolidation as a condition of approval for the proposed project is included in the proposed zone classification resolution and must be completed before the zone change is effective.

FINDINGS

General Plan Amendment No. 2017-02

A. The City has complied with applicable California Government Code Sections regarding amendments to the Land Use Element of the General Plan.

The proposed amendment to the General Plan Land Use Element to change the general plan designation on the subject property to General Commercial is in conformance with Government Code Sections 65352.3 and 65358(b) (local Native

American Tribes notification) to consult with the City for the purpose of protecting, and/or mitigating impacts to cultural places when a local government is considering a proposal to adopt or amend a general plan and/ or a specific plan; and the City responded to a requested consultation with a local tribe without receiving any response.

- B. *The proposed General Plan amendment will not be detrimental to the public health, safety, or welfare, and is in the public interest.*

The change in land use designation from High Density Residential to General Commercial complements the established commercial corridor and downtown's mixed use area. The General Plan Amendment will create an opportunity for commercial utilization of the property extending the Main Street commercial corridor, which is supported by Goal 2 of the General Plan that calls for supporting commercial services in the downtown area. Furthermore, Objective 5-12, states that the City will provide for the needed public and community services and facilities to serve those of lower and moderate income. The change in land use designation will allow the Family Health Centers to expand their services at their existing downtown location.

- C. *The proposed General Plan amendment is internally consistent with the remainder of the General Plan, as required by Government Code Section 65300.5*

Amending the General Plan Land Use designation of the property to General Commercial accommodates an increase in commercial development along Main Street, a primary commercial corridor. Properties to the north, west and east of the site are designated General Commercial. The General Plan change in land use designation provides an opportunity for the Family Health Centers to continue to provide community health services. Therefore, the amendment does not conflict with adopted governing plans, and it is internally consistent with the remainder of the General Plan.

Zone Reclassification No. 2326

- A. *The proposed zoning amendment, including any changes proposed in the various land uses to be authorized, is compatible with the objectives, policies, general land uses, and programs specified in the general plan.*

The rezoning to the C-G zone is consistent with the proposed General Commercial land use designation as indicated in the General Plan Zoning Consistency Chart. Furthermore, the proposed zone would provide for the utilization of this underutilized site for commercial uses and with development standards compatible with the surrounding neighborhood. The rezone would facilitate the development of the site for the expansion of the Family Health Centers medical office.

- B. *The proposed zoning amendment is consistent with any applicable specific plan governing development of the subject property.*

The property is subject to three governing specific plans including SP No. 182, 324 and 358. SP No. 182 governs now development in the downtown area. SP Nos. 324 and 358 establishes interconnecting access via two public alleys. The rezone of the property does not conflict with any of the governing specific plans.

- C. *It is in the public necessity and convenience and/or general welfare that the zoning regulations governing the property be changed.*

The proposed zone change will facilitate the development and activation of an underutilized property.

- D. *When a reduction in residential density is proposed, the following additional finding shall be made: The remaining sites identified in the housing element are adequate to accommodate the city's share of the regional housing need pursuant to California Government Code Sections 65584, and 65863.*

The site is identified in Appendix C of the Sites Inventory List of the Housing Element as a site that will permit high density residential. The listing identifies that the site has potential for 36 dwelling units at 40 dwelling units per acre. The rezoning of the property to C-G does not preclude the site from residential development. The change simply allows for utilization of the site for uses other than parking. The property continues to be part of the downtown mixed-use area that allows for residential development which can yield 40 dwelling units per acre or more.

Site Development Permit No. 1509

- A. *The proposed project is consistent with applicable goals, policies and programs of the General Plan, any applicable specific plan or regional planning document.*

Pursuant to Goal 9 of the General Plan, it is important to provide and support public and community services and facilities to serve those of lower and moderate income. The development will expand the commercial corridor of Main Street further adding to the mixed-use environment the Downtown Master Plan seeks to create with a mix of residential, offices, and retail.

- B. *The proposed site plan and building design are consistent with all applicable city ordinances and policies.*

The building design is consistent with the Architectural Guidelines of the El Cajon Municipal Code as it highlights entry features, includes no blank walls and provides façade modulation. The overall site plan features upgrades to the existing lighting standards. Additionally, landscaping is proposed and consistent with the City's Water Efficiency Landscape Ordinance.

C. *Easements and rights-of-way are recognized and respected on the site development plan.*

The existing easements on the property and associated rights-of-way, including the two public alleys that intersect with the project site, are recognized and respected on site development plan. No obstructions are proposed.

D. *Public improvements will be completed, maintained and upgraded in accordance with public improvement thresholds.*

The project has been reviewed and conditioned based on the proposed scope of work. The project is categorized as a Low Impact Development project for storm water requirements. Standard grading and drainage plans, soils reports and encroachment permits are required for development of the site.

CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

In accordance with CEQA, an Initial Study and Mitigated Negative Declaration (MND) was prepared for the project. The MND evaluated potential environmental impacts of the project and determined that there were potential impacts to cultural resources. Mitigation measures are proposed for Native American and Archeological monitoring during grading activities in the event that there may be subsurface resources and for avoidance of construction during bird nesting season. The mitigation measure was included in a Mitigation, Monitoring, and Reporting Program (MMRP) to ensure that potential impacts were reduced to a level of less than significance. A Notice of Intent to Adopt the draft MND was published on February 1, 2018, and the MND was circulated for public review and comment from February 2 – March 3, 2018. One comment letter was received from the Native American Heritage Commission (NAHC). The NAHC advised the City regarding state laws pertaining to Native American tribal noticing, and the need to consider Tribal Cultural Resources (TCR) in the environmental document. The City has complied with all tribal noticing laws as required.

PUBLIC NOTICE & INPUT

A notice of application was mailed on August 30, 2017, to property owners and tenants within a 300-foot radius of the site informing them of this permit application. No public comments were received for the permit application.

In accordance with California Public Resources Code §§ 65352.3 – 65352.4, which require local governments to conduct meaningful consultation with Native American tribes prior

to adoption of a general plan amendment, an invitation for consultation was sent to all tribes culturally affiliated with places or lands affected by the project on October 27, 2017. One request for consultant was received from the Campo Band of Mission Indians. Several attempts have been made to coordinate a meeting to consult, the last one was on January 16, 2018. No response has been received to date by the City to consult.

A notice of this public hearing was published in the East County Gazette on February 15, 2018, and mailed on February 20, 2018, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code Sections 65090, 65091, and 65092, as applicable. As a public service, the notice was posted in the kiosk at City Hall and on the City's website under "Public Hearings/Public Notices." The notice was also mailed to the two public libraries in the City of El Cajon, located at 201 East Douglas Avenue and 576 Garfield Avenue. No public comments have been received for this permit application.

RECOMMENDATION

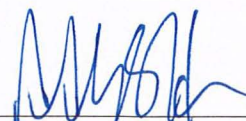
The proposed commercial building expansion will serve the medical office needs for the existing Family Health Centers operations and help meet demand. Furthermore, it will activate an underutilized area that has experienced public nuisances. Staff's recommendation is that the Planning Commission recommend approval of the Family Health Center Building Expansion to the City Council.

PREPARED BY:



Lorena Cordova
ASSOCIATE PLANNER

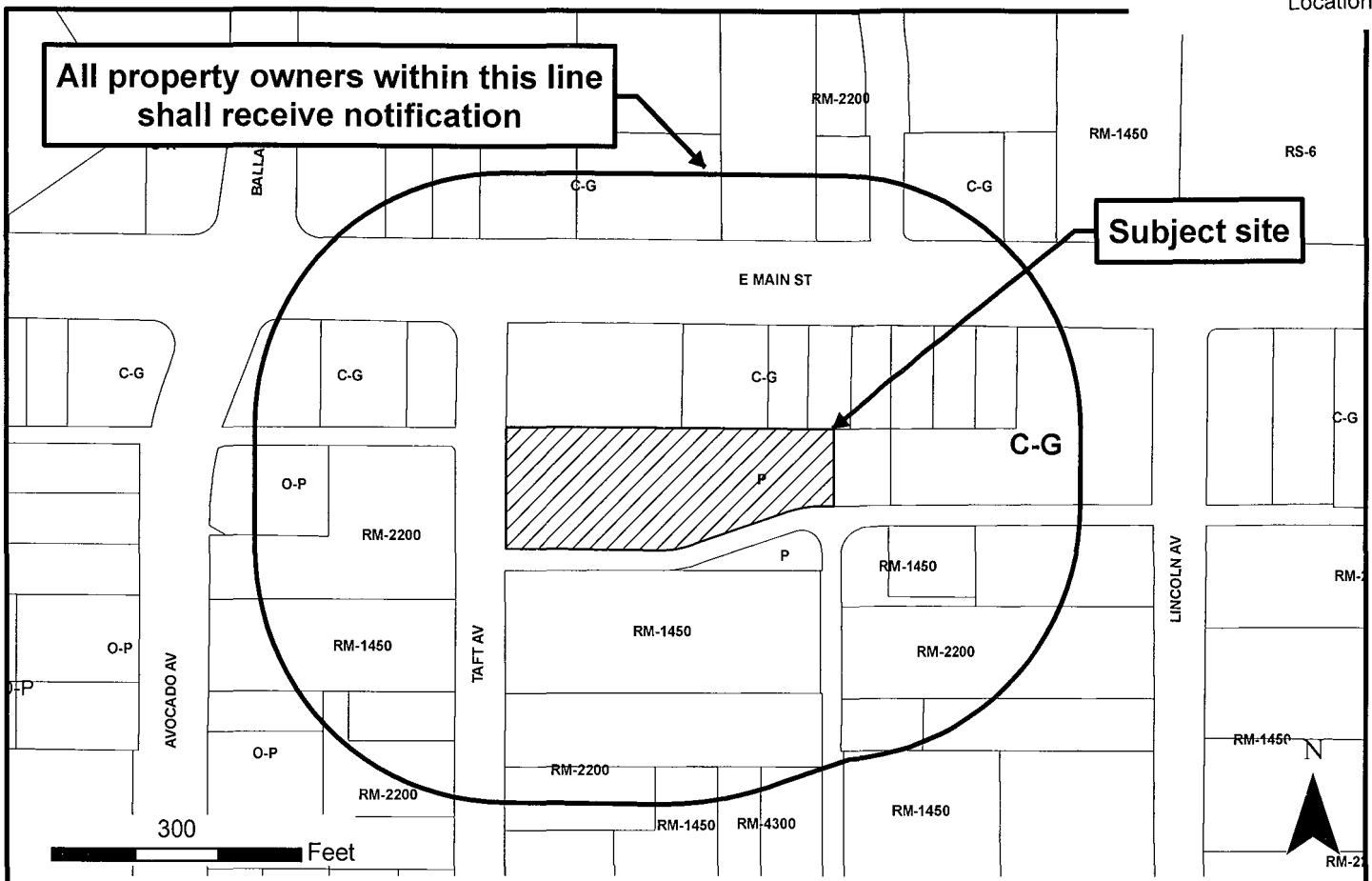
APPROVED BY:



Anthony Shute
DIRECTOR OF COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution Recommending APPROVAL of the Mitigated Negative Declaration and MMRP
3. Proposed Resolution Recommending APPROVAL of GPA No. 2017-02
 - a. Exhibit A General Plan Amendment Exhibit
4. Proposed Resolution Recommending APPROVAL of ZR No. 2326
 - a. Exhibit A Zone Reclassification Exhibit
5. Proposed Resolution Recommending APPROVAL of SDP No. 1509
 - a. Exhibit A Helix Water District Comments
6. Mitigated Negative Declaration & Mitigation Monitoring and Reporting Program
Appendices available: <http://www.cityofelcajon.us/home/showdocument?id=17013>
7. Aerial Photograph of Subject Site
8. Application and Disclosure statement
9. Reduced Plans
10. Colored Renderings
11. Full Size Plans (in commissioners' binders)



**NOTICE OF PROPOSED
AMENDMENT TO GENERAL PLAN 2017-02, ZONE RECLASSIFICATION NO. 2326, AND
SITE DEVELOPMENT PERMIT NO. 1509
FAMILY HEALTH CENTER EXPANSION**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, March 6, 2018**, and the El Cajon City Council will hold a public hearing at **7:00 p.m., Tuesday, March 27, 2018**, in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

The proposed project as submitted by David Wisenhunt on behalf of Family Health Centers of San Diego, Inc. for a new 2,860 square-foot medical office building with on-site improvements to landscaping and parking at the existing site. The project entails a General Plan Amendment to change the existing land use designation of High Density Residential "HR" to General Commercial "GC." Also, there is a proposed Zone Reclassification for a zone change from Parking "P" to General Commercial "C-G." A Site Development Permit is required for the construction of a new commercial building. The subject property is located on the east side of Taft Avenue between Main Street and Lexington Avenue, and addressed as 525 East Main Street (Assessor Parcel Number 488-233-51). A Mitigated Negative Declaration was prepared in compliance with the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in these public hearings. The agenda reports for this project will be available 72 hours prior to the meeting for Planning Commission and City Council at <http://www.cityofelcajon.us/your-government/city-meetings-with-agendas-and-minutes-all>. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearings, but will be available at the Project Assistance Center and City Clerk counters upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearings described in this notice or in written correspondence delivered to the Commission or Council at, or prior to, the public hearings. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619.441.1742. More information about planning and zoning in El Cajon is available at <http://www.cityofelcajon.us/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **LORENA CORDOVA** at 619.441.1539 or via email at lcordova@cityofelcajon.us and reference "Family Health Center Expansion" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION RECOMMENDING CITY COUNCIL ADOPTION OF A MITIGATED NEGATIVE DECLARATION AND MITIGATION MONITORING AND REPORTING PROGRAM FOR THE FAMILY HEALTH CENTER EXPANSION PROJECT, A NEW MEDICAL OFFICE BUILDING ON THE EAST SIDE OF TAFT AVENUE BETWEEN EAST MAIN STREET AND EAST LEXINGTON AVENUE IN THE PENDING C-G ZONE, APN: 488-233-51; AND PENDING GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL (GC).

WHEREAS, the El Cajon Planning Commission held a duly advertised public hearing on March 6, 2018 to consider General Plan Amendment No. 2017-02 to redesignate the site from High Density Residential to General Commercial, Zone Reclassification No. 2326 to change the zoning classification from P (Parking) to General Commercial (C-G), and Site Development Permit No. 1506 requesting a medical office building for the Family Health Center expansion project on property located on the east side of Taft Avenue between East Main Street and East Lexington Avenue;

WHEREAS, the City prepared a Mitigated Negative Declaration for the project in accordance with CEQA guidelines, which indicates that the potential environmental effects of the proposed project would be less than significant with proposed mitigation measures; and

WHEREAS, the Mitigated Negative Declaration reflects the City's independent judgment as required by Section 21082.1 of the Public Resources Code; and

WHEREAS, pursuant to Section 21082.1 of the Public Resources Code, the draft Mitigated Negative Declaration was circulated for public review from February 2, 2018, through March 3, 2018; and

WHEREAS, no comments were received during the public review period; and

WHEREAS, in accordance with CEQA Guidelines Section 15074(c), the custodian of the Mitigated Negative Declaration is the El Cajon Community Development Department, and all supporting documentation is in the General Plan Amendment No. 2017-02 file; and

WHEREAS, after considering the evidence and facts, the Planning Commission considered the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program and as presented at its March 6, 2018, meeting.

Proposed Planning Commission Resolution

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby RECOMMENDS CITY COUNCIL ADOPTION of the Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program for the Family Health Center Expansion project.

A. Adoption of the Mitigated Negative Declaration shall only apply to the subject project and shall not waive compliance with all other provisions of the Zoning Code and all other applicable City ordinances in effect at the time that the building permit is issued.

B. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, and costs, including attorneys' fees, against the City or its agents, officers or employees, relating to this Mitigated Negative Declaration determination (the "CEQA Determination"), and relating to the approval of General Plan Amendment No. 2017-02, Zone Reclassification No. 2326, and Site Development Permit No. 1506 (the "Approvals") including, but not limited to, any action to attach, set aside, void, challenge, or annul the Approvals and the CEQA Determination. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorneys' fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by the applicant.

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Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held March 6, 2018, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

ATTEST:

Anthony SHUTE, AICP, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION RECOMMENDING CITY COUNCIL APPROVAL OF GENERAL PLAN AMENDMENT NO. 2017-02 TO AMEND THE LAND USE ELEMENT OF THE GENERAL PLAN BY REDESIGNATING THE PROPERTY LOCATED ON EAST SIDE OF TAFT AVENUE BETWEEN EAST MAIN STREET AND EAST LEXINGTON AVENUE FROM HIGH DENSITY RESIDENTIAL (HR) TO GENERAL COMMERCIAL (GC); APN: 488-233-51.

WHEREAS, the El Cajon Planning Commission held a duly advertised public hearing on March 6, 2018, to consider General Plan Amendment No. 2017-02, to consider a change in the land use designation from High Density Residential to General Commercial, as submitted by David Wisenhunt for the Family Health Centers of San Diego, Inc. for the Family Health Center expansion project; and

WHEREAS, the Planning Commission considered the draft Mitigated Negative Declaration and Mitigation, Monitoring and Reporting Program in accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines Section 15074 for the proposed project; and

WHEREAS, the Planning Commission adopted the next resolution in order recommending City Council approval of the Initial Study and Mitigated Negative Declaration for the Family Health Center Expansion project; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment, in the form of both verbal and written communications and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. The proposed amendment to the General Plan Land Use Element to change the general plan designation on the subject property to General Commercial is in conformance with Government Code Sections 65352.3 and 65358(b) (local Native American Tribes notification) to consult with the City for the purpose of protecting, and/or mitigating impacts to cultural places when a local government is considering a proposal to adopt or amend a general plan and/ or a specific plan; and the City responded to a requested consultation with a local tribe without receiving any response.
- B. The change in land use designation from High Density Residential to General Commercial complements the established commercial corridor and downtown's mixed use area. The General Plan Amendment will create an opportunity for

Proposed Planning Commission Resolution

commercial utilization of the property extending the Main Street commercial corridor, which is supported by Goal 2 of the General Plan that calls for supporting commercial services in the downtown area. Furthermore, Objective 5-12, states that the City will provide for the needed public and community services and facilities to serve those of lower and moderate income. The change in land use designation will allow the Family Health Centers to expand their services at their existing downtown location.

- C. Amending the General Plan Land Use designation of the property to General Commercial accommodates an increase in commercial development along Main Street, a primary commercial corridor. Properties to the north, west and east of the site are designated General Commercial. The General Plan change in land use designation provides an opportunity for the Family Health Centers to continue to provide community health services. Therefore, the amendment does not conflict with adopted governing plans, and it is internally consistent with the remainder of the General Plan.

WHEREAS, after considering such evidence and facts the Planning Commission did consider General Plan Amendment No. 2017-02 as presented at its meeting.

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to General Plan Amendment No. 2017-02.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby RECOMMENDS City Council APPROVAL of General Plan Amendment No. 2017-02 to amend the Land Use Element of the General Plan by changing the General Plan designation of the property on the east side of Taft Avenue from High Density Residential to General Commercial, in accordance with the attached Exhibit "A".

[The remainder of this page intentionally left blank.]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held March 6, 2018, by the following vote:

AYES:
NOES:
ABSENT:

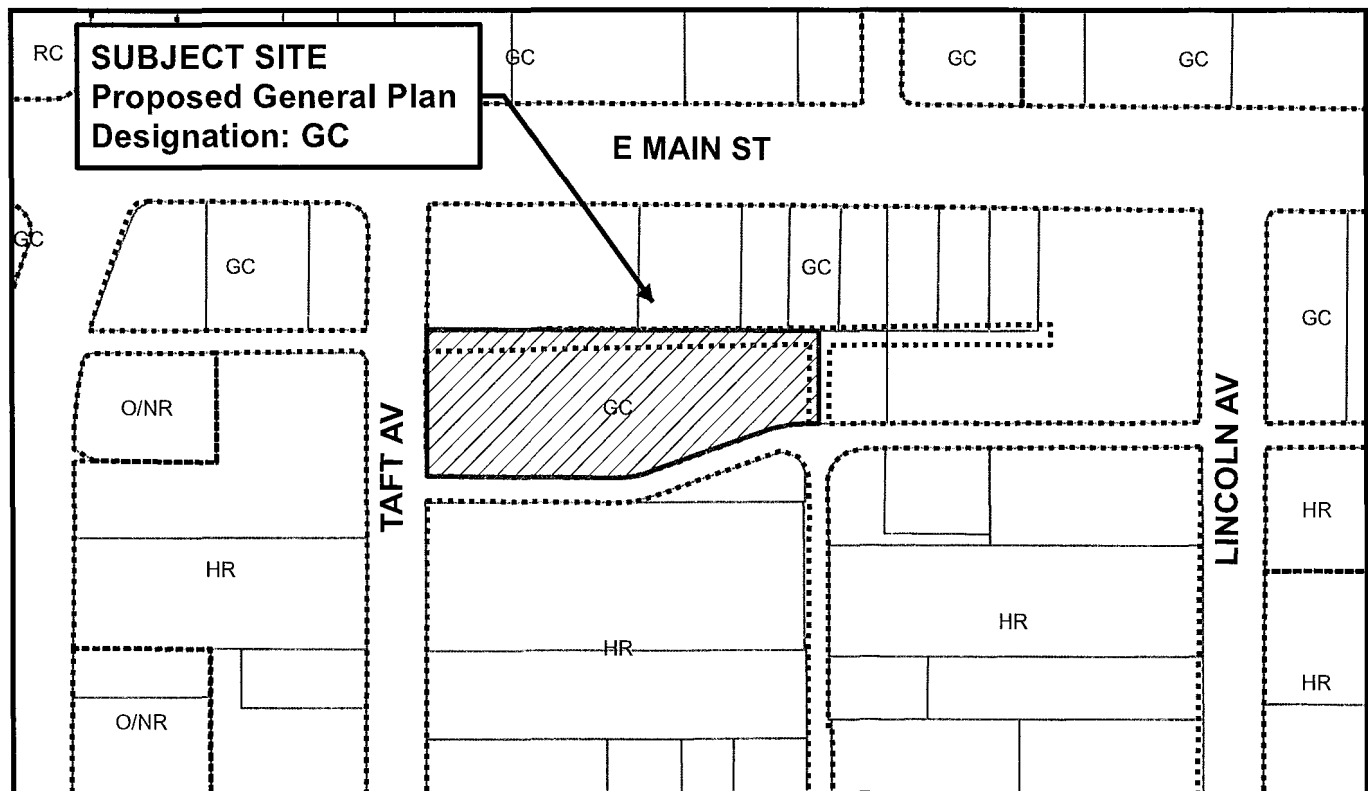
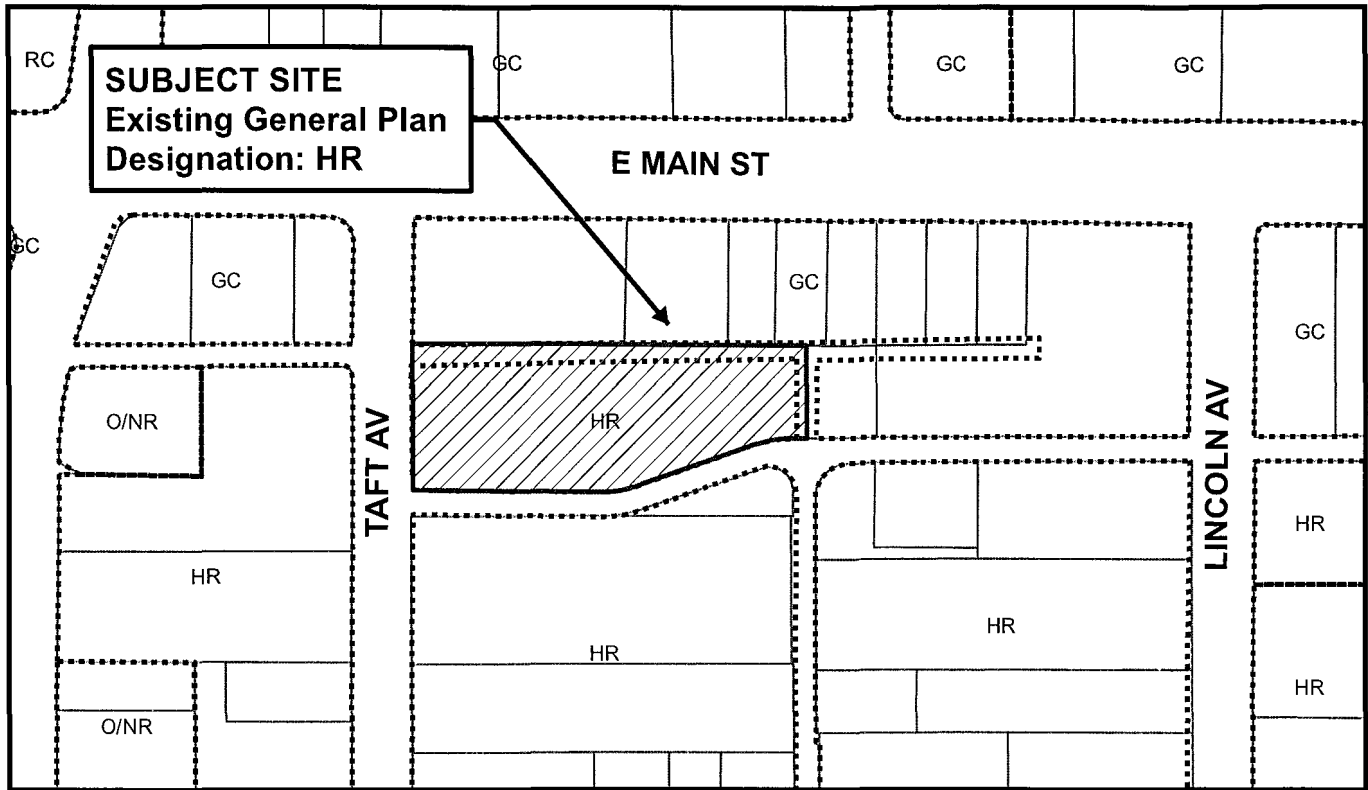
Darrin MROZ, Chair

ATTEST:

Anthony SHUTE, AICP, Secretary

Exhibit "A"

General Plan Amendment No. 2017-02



PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION RECOMMENDING CITY COUNCIL APPROVAL OF ZONE RECLASSIFICATION NO. 2326 FOR THE REZONING OF PROPERTY LOCATED ON THE EAST SIDE OF TAFT AVENUE BETWEEN EAST MAIN STREET AND EAST LEXINGTON AVENUE FROM THE P (PARKING) TO C-G (GENERAL COMMERCIAL); APN: 488-233-51; GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL (GC).

WHEREAS, the El Cajon Planning Commission held a duly advertised public hearing on March 6, 2018, to consider Zone Reclassification No. 2326, to consider a change in the zoning designation from the P to the C-G zone, as submitted by David Wisenhunt for the Family Health Center Expansion project; and

WHEREAS, the Planning Commission considered the draft Mitigated Negative Declaration and Mitigation, Monitoring and Report Program in accordance with the California Environmental Quality Act (CEQA) and CEQA Guidelines Section 15074 for the proposed project; and

WHEREAS, the Planning Commission adopted the next resolution in order recommending City Council approval of the Initial Study and Mitigated Negative Declaration for the Family Health Center Expansion project; and

WHEREAS, the Planning Commission adopted the next resolution in order recommending City Council approval of the proposed General Plan Amendment to redesignate the subject property from High Density Residential to General Commercial; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment, in the form of verbal and written communications and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. The rezoning to the C-G zone is consistent with the proposed General Commercial land use designation as indicated in the General Plan Zoning Consistency Chart. Furthermore, the proposed zone would provide for the utilization of this underutilized site for commercial uses and with development standards compatible with the surrounding neighborhood. The rezone would facilitate the development of the site for the expansion of the Family Health Centers medical office.
- B. The property is subject to three governing specific plans including SP No. 182, 324 and 358. SP No. 182 governs now development in the downtown area. SP

Proposed Planning Commission Resolution

- Nos. 324 and 358 establishes interconnecting access via two public alleys. The rezone of the property does not conflict with any of the governing specific plans.
- C. The proposed zone change will facilitate the development and activation of an underutilized property.
 - D. The site is identified in Appendix C of the Sites Inventory List of the Housing Element as a site that will permit high density residential. The listing identifies that the site has potential for 36 dwelling units at 40 dwelling units per acre. The rezoning of the property to C-G does not preclude the site from residential development. The change simply allows for utilization of the site for uses other than parking. The property continues to be part of the downtown mixed-use area that allows for residential development which can yield 40 dwelling units per acre or more.

WHEREAS, after considering such evidence and facts the Planning Commission did consider Zone Reclassification No. 2326 as presented at its meeting.

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to Zone Reclassification No. 2326.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby RECOMMENDS City Council APPROVAL of Zone Reclassification No. 2326 to rezone the subject property from the P to the C-G zone as shown in Exhibit A.

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Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held March 6, 2018, by the following vote:

AYES:
NOES:
ABSENT:

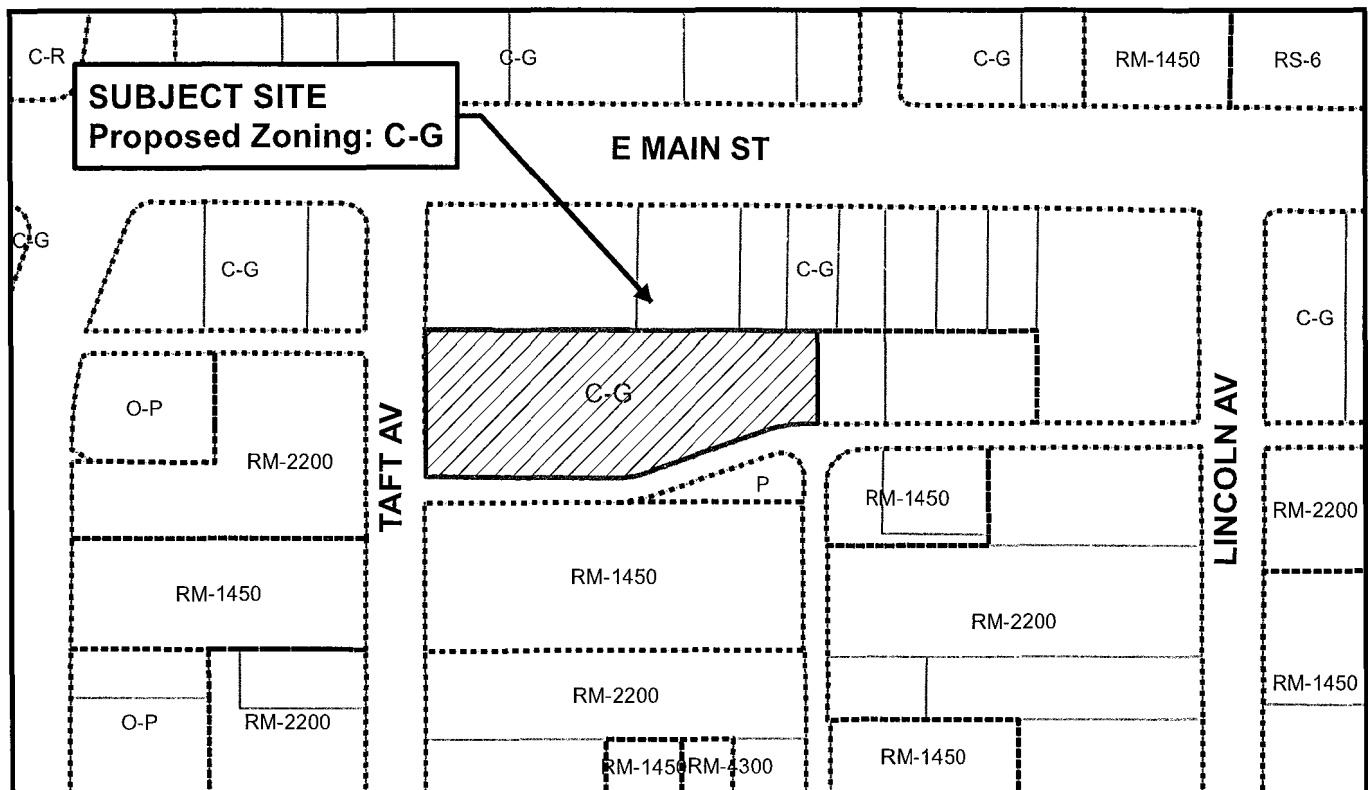
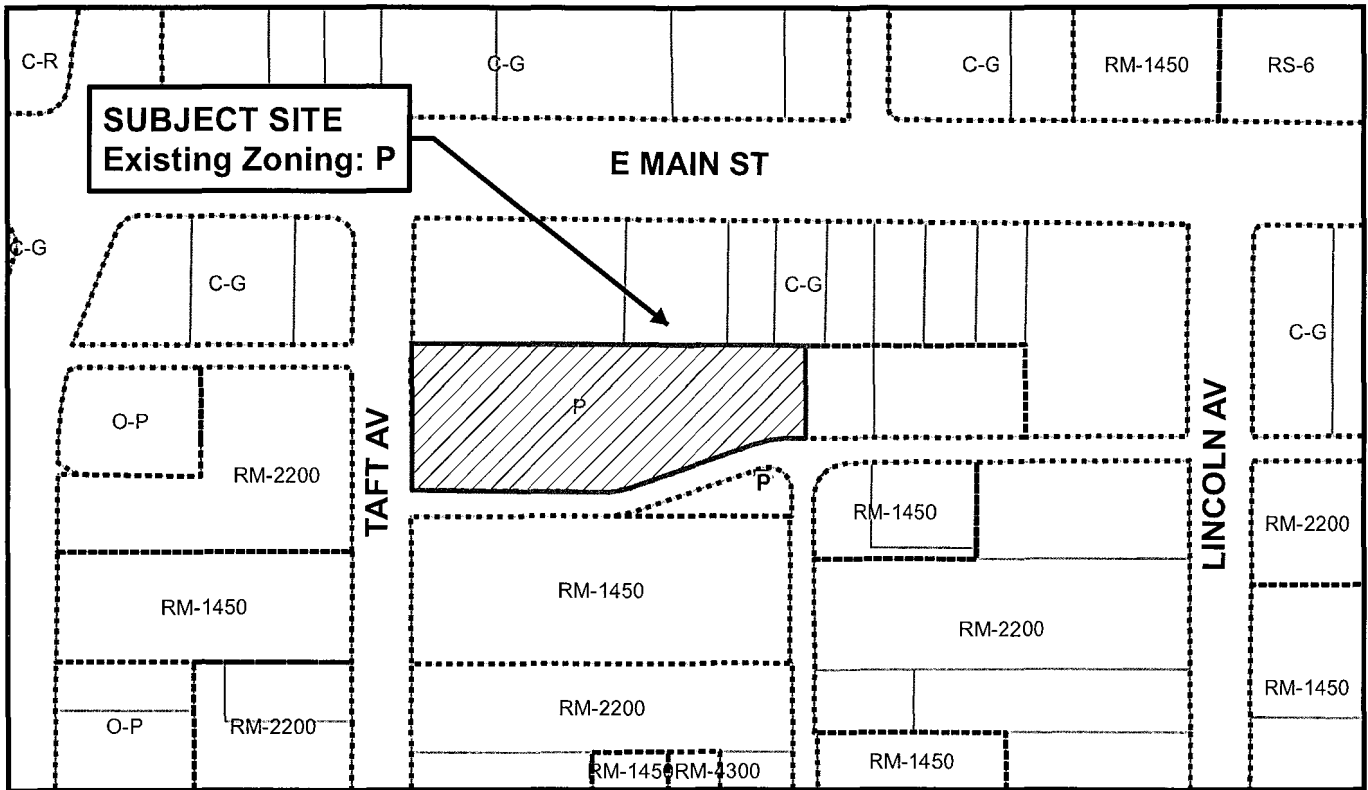
Darrin MROZ, Chair

ATTEST:

Anthony SHUTE, AICP, Secretary

Exhibit "A"

Zone Reclassification No. 2326



PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION RECOMMENDING CITY COUNCIL APPROVAL OF PROPOSED TO SITE DEVELOPMENT PERMIT NO. 1509 FOR A NEW 2,860 SQUARE FOOT COMMERCIAL BUILDING ON THE EAST SIDE OF TAFT AVENUE BETWEEN EAST MAIN STREET AND EAST LEXINGTON AVENUE IN THE GC (GENERAL COMMERCIAL) ZONE; APN 488-233-51; GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL.

WHEREAS, the El Cajon Planning Commission held a duly advertised public hearing on March 6, 2018 to consider the Site Development Permit No. 1509 for a new medical office building of 2,860 square feet located on the east side of Taft Avenue between East Main Street and East Lexington Avenue, and addressed as 525 East Main Street; and

WHEREAS, the El Cajon Planning Commission recommended approval of the General Plan Amendment No. 2017-02 to change the land use designation from High Density Residential to General Commercial; and

WHEREAS, the El Cajon Planning Commission recommended approval of the Zone Reclassification No. 2326 to rezone the subject property from Parking to General Commercial; and

WHEREAS, the El Cajon Planning Commission recommended approval of the Mitigated Negative Declaration and the Mitigation Monitoring and Reporting Program for the Family Health Center expansion project; and,

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment in the form of verbal and written communications and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. Pursuant to Goal 9 of the General Plan, it is important to provide and support public and community services and facilities to serve those of lower and moderate income. The development will expand the commercial corridor of Main Street further adding to the mixed-use environment the Downtown Master Plan seeks to create with a mix of residential, offices, and retail.
- B. The building design is consistent with the Architectural Guidelines of the El Cajon Municipal Code as it highlights entry features, includes no blank walls and provides façade modulation. The overall site plan features upgrades to the existing

lighting standards. Additionally, landscaping is proposed and consistent with the City's Water Efficiency Landscape Ordinance.

- C. The existing easements on the property and associated rights-of-way, including the two public alleys that intersect with the project site, are recognized and respected on site development plan. No obstructions are proposed.
- D. The project has been reviewed and conditioned based on the proposed scope of work. The project is categorized as a Low Impact Development project for storm water requirements. Standard grading and drainage plans, soils reports and encroachment permits are required for development of the site.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings, the El Cajon Planning Commission hereby RECOMMENDS City Council APPROVE of the Site Development Permit No. 1509 to allow for the proposed expansion of the medical office building on the above described property subject to the following conditions:

Planning

- 1. The City Council shall concur with the Planning Commission's recommendation for this decision to be effective.
- 2. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall submit and obtain approval of a one-page, 24" by 36" mylar site plan for the Site Development Permit No. 1509 that reflects the following specific notes and changes:
 - A. Include the following note: "This project shall comply with the Standard Conditions of Development from Planning Commission Resolution No. 10649, as applicable."
 - B. The revised site plan shall reflect the applicable comments and include all of the required notes from the Engineering comments contained in Condition No. 8.
 - C. The revised site plan shall reflect the applicable comments from the Helix Water District attached to this resolution as "Exhibit A" and dated 07-28-17.
- 3. Prior to the issuance of building permits, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Submit a lighting plan in accordance with El Cajon Municipal Code Section 17.130.150. The plan shall include the location of all external lighting elements and their respective design. Planning approval of the plan is required before building permit issuance.
 - B. The approved building material types and colors of all exterior elevations shall

Proposed Planning Commission Resolution

be shown on the construction drawings submitted for building permits and shall be in substantial conformance with the materials approved by the City Council.

- C. Comply with the Engineering comments to the satisfaction of the City Engineer and the Director of Community Development.
 - D. Submit a Landscape Documentation Package (LDP) and Certificate of Completion in conformance with the requirements of Chapter 17.195 and section 17.60.180 of the Zoning Code, and the State's revised Model Water Efficient Landscape Ordinance, and consistent with the guidelines provided in the City of El Cajon Landscape Design Manual. The LDP plans shall be consistent with the approved project site.
 - E. Obtain approval of a lot consolidation to convert the two properties owned and operated by Family Health Centers into one.
4. Prior to building permit final, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
- A. Obtain approval of the landscaping improvements of the development.
 - B. Obtain staff approval of a lighting (photometric) plan prepared by a licensed professional that provides adequate lighting for pedestrian and vehicle safety as part of the building permit set of plans.
 - C. Remove the existing chain link fence on the perimeter of the property and replace with a maximum six-foot high wrought iron fence.
5. Prior to the granting of occupancy, or as otherwise determined by the Director of Community Development, all on-site improvements shall be completed or guaranteed in accordance with the approved site plan. The following items shall be completed and/or inspected:
- A. Complete the installation of the approved landscaping and irrigation system and obtain approval of a Certificate of Completion.
 - B. Satisfy all requirements of the Building and Engineering conditions contained in this resolution of approval.
 - C. Satisfy all requirements of the Helix Water District conditions contained in this resolution of approval.
6. All the ongoing conditions of approval of the Specific Plan Nos. 324 and 358 shall remain in effect.

Engineering and Storm Water

7. Storm water requirements and comments for this action:

- A. "All operations shall comply with the City's Jurisdictional Runoff Management Program (JRMP) and the City's Storm Water Ordinance (Municipal Code 13.10 and 16.60) to minimize or eliminate discharges of pollutants to the storm drain system. Operations shall include implementation of Best Management Practices (BMPs) as follows:
- a) Only rain is permitted to enter the storm drain system. Discharges (direct or by conveyance) of trash, debris, vehicle fluids, or wastewater (including washing fluids) to the storm drain system are strictly prohibited.
 - b) Provide sufficient trash receptacles. Dispose of wastes properly.
 - c) Sweep or vacuum to clean outdoor areas (trash enclosures, sidewalks and parking lots). Power washing in outdoor areas is strictly prohibited.
 - d) Maintain parking area to be free from trash and petroleum leaks.
 - e) All dumpsters used by this project shall have lockable lids. All lids on all dumpsters shall remain closed while dumpster is not directly in use and locked after business hours. All dumpsters shall be properly stored inside of a building or in a covered trash enclosure.
 - f) All trash enclosures must be secured, covered with an impervious roof, and constructed with a berm or grade-break across the entire entrance in accordance with the requirements of Public Works Storm Water Attachment No. 2 (available to the public on the City of El Cajon website).
 - g) All materials must be stored in a properly covered and contained area that will not be exposed to urban run-on and run-off.
 - h) All vehicle maintenance activities must be conducted in a covered and contained building that is protected from urban run-on and run-off. Maintenance areas shall drain to a self-contained sump or through an approved pretreatment system, such as a sand and oil separator system, that is connected to the sanitary sewer.
 - i) All storm water runoff treatment control mechanisms (catch basin hydrocarbon filters, Low Impact Development (LID) BMPs, or otherwise) employed onsite shall be maintained to be in good working order and replaced as necessary. See manufacturer's recommendations for maintenance and replacement.

For Engineering and Storm Water requirements on this Planning Action please refer to the Conditions of Approval. This Site Plan may not clearly show existing or proposed improvements in the public right-of-way and should not be used for public improvement construction purposes."

8. Comply with the following Storm Water requirements:

A. In accordance with the City of El Cajon Municipal Code Section 16.60, this project is a Standard Development Project (SDP) and is subject to the following requirements:

- a) Incorporation of New Development Best Management Practices (BMPs), composed of site design and source control BMPs. All applicable storm water BMP features shall be shown on site plans, landscaping plans, building plans and if applicable, engineering plans.
- b) Standard Development Projects shall complete Forms I-1, I-2, I-4, and I-5. Forms I-1 and I-2 were included with the planning action application but the forms I-4 and I-5 need to be completed. Form I-4 and I-5 should specify applicable implementation of source control and site design BMPs for the project. Please refer to the City of El Cajon BMP Design Manual, the design manual can be found on the City of El Cajon website at:

<http://www.cityofelcajon.us/Home/ShowDocument?id=8233>

Forms I-4 and I-5 are located in Appendix I. The forms MUST be submitted with the next submittal of the SDP site plan and prior to the submittal of any building permit.

B. In accordance with the City's lot grading ordinance, no grading or soil disturbance, including clearing of vegetative matter and demolition activities, shall be done until all necessary environmental clearances are secured and a Grading and Drainage and Erosion Control Plan (ECP) have been reviewed and approved by Engineering.

1. The ECP shall control sediment and pollution and be in compliance with the City's 2015 Jurisdictional Runoff Management Plan (JRMP). The ECP should show measures to ensure that pollutants and runoff from the development are reduced to the maximum extent practicable.
2. Any demolition activities shall be covered under a separate ECP to include measures for eliminating runoff during the demolition phase.
3. The ECP (demolition and/or construction) shall be submitted to the Land Development Engineering and shall include:
 - i. Review fees for ECPs.
 - ii. Four (4) sets of prints.

C. The project shall incorporate Low Impact Development (LID) BMPs for compliance with the California Regional Water Quality Control Board (San

Proposed Planning Commission Resolution

Diego Region) Order No. R9-2013-0001. See Section D.1.d(4) of Order No. R9-2013-0001, located at:

http://www.waterboards.ca.gov/sandiego/water_issues/programs/storm_water/docs/updates052313/2013-0523_Order_No._R9-2013-0001_COMPLETE.pdf

LID BMPs must be included as a separate report for review by the City prior to any development activities. The Report must include a comprehensive review and consideration of LID BMPs and a determination of feasibility and practicality for all mandatory LID BMPs. The LID section must include implementation of Source Control BMPs, Treatment Control BMPs and other LID BMPs where practical and feasible. An electronic copy of the County of San Diego LID Handbook can be found online at:

<http://www.co.san-diego.ca.us/dplu/docs/LID-Handbook.pdf>

Note: Pertinent sections of the JRMP document and an ECP template are available to the public on the City of El Cajon website. The architect or engineer shall obtain applicable notes and instructions from Engineering staff prior to submittal of plans.

LID Plans must be submitted to the Engineering staff for review and approval PRIOR to the start of any demolition or construction activities.

Note: Failure to comply with or implement SDP conditions is considered a violation of the City's JRMP and may result in a citation with monetary fines, criminal charges, and/or revocation of permit

9. Private development requirements and comments with this action:

A. Submit a Grading and Drainage Plan along with an Erosion Control Plan prepared by a Civil Engineer, registered in the State of California. The Grading, Drainage and Erosion Control Plans shall be submitted to Engineering and shall include:

- i. 4 sets of prints per Plan
- ii. Cost estimate of site improvements
- iii. Review fees for Grading and Drainage Plan and for Erosion Control Plan
- iv. 1 copy of soils report

The engineer shall obtain applicable checklists, notes and instructions from the Engineering staff prior to submittal of plans.

Proposed Planning Commission Resolution

- B. Submit a preliminary soils report prepared by a Civil or Geotechnical Engineer registered in the state of California
- C. The new sewer lateral will require a connection fee and wet-tap fee and must be approved by Building upon applying for a Building Permit. A double cleanout is required at the property line for all new sewer laterals. The installation of the new lateral will require an Encroachment Permit. Maintenance of the laterals shall be the responsibility of the property owner.

10. Requirements for the encroachment permit:

- A. Submittal of a detailed drawing described above, a traffic control plan, an insurance certificate and (non-blanket) endorsement per policy D-3, and the review fees. Contact the Engineering staff for additional information.

11. General Information only:

- A. Repair all damaged surfaces if any work is proposed within the public alley.

Building and Fire Safety

- 12. Comply with Currently adopted edition of the California Building Code, California Fire Code, California Mechanical Code, California Plumbing Code, California Electrical Code, and Green Building Standard Code.
- 13. A Building permit is required for this project.
- 14. Project must comply with Title 24 disabled access regulations.
- 15. Title 24 energy efficiency compliance and documentation is required.
- 16. Soils report will be required for this project.
- 17. A licensed design professional is required for this project.
- 18. An automatic sprinkler system is required.
- 19. Electric vehicle gates require optical device and Knox key override. Pedestrian gates require knox box. Contact Fire Department for application.
- 20. Fire extinguisher is required. One for every 3,000 s.f. with max. 75 ft. travel distance. Minimum size 2A10BC with signage.
- 21. The parking area must maintain 28 ft. turning radius for fire apparatus to navigate.

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular

Proposed Planning Commission Resolution

meeting held March 6, 2018, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

ATTEST:

Anthony SHUTE, AICP, Secretary



Administration Office
7811 University Avenue
La Mesa, California 91942-0427

619-466-0585
helix@helixwater.org
hwd.com

July 28, 2017

City of El Cajon
Attn: Lorena Cordova
200 Civic Center Way
El Cajon, CA 92020

Subject: Site Development Plan 1509, General Plan Amendment No. 2017-02 and
Zoning Reclassification No. 2326
APN: 488-233-01, 488-233-50, 488-233-51, 488-233-53 and 488-233-54
1549 East Main Street

Dear Ms. Cordova:

Thank you for the opportunity to comment on the subject project. Helix Water District serves APN 488-233-01 with one 2" water service with a 1.5" water meter. Helix Water District does not have a water service at the following APNs: 488-233-50, 488-233-51, 488-233-53 and 488-233-54. Fire protection is provided by an 8-inch fire service on the west side of APN 488-233-01. Water pressure in the area is approximately 90 psi.

Each existing or new parcel(s) shall have its own separate water service. Backflow device(s) will be required for all proposed water and fire services and shall be installed per current Water Agencies' Standards. The new backflow device shall be tested by a certified backflow tester with a copy of the passing test results forwarded to HWD attention Darrin Teisher by e-mail: crossconnection@helixwater.org. Water for multiple dwelling units or commercial/industrial fire protection systems shall be furnished to the property by facilities which are separate from the domestic water service.

Water main extension may be required, and will be determined upon review of the improvement plans. The project is subject to all HWD requirements, policy, practices, and standards at the time of establishing a work order and submittal of improvement plans to the district. In addition, any finished surface improvement, other than asphalt above the pipeline or underground facilities, will require an encroachment removal agreement. Permeable finished surface improvements and bio-retention swales or basins are prohibited within HWD water main easement or over water facilities. The project is subject to compliance with water main separation standards as defined by California Code of Regulations, Title 22, Chapter 16, California Water Works Standards.

If landscaping of the parcels exceeds 5,000 square feet, a dedicated irrigation meter will be required and the property entered into our Water Conservation Program. Please contact them by e-mail: conserve@helixwater.org

Heartland Fire and Rescue may require additional or upgraded fire protection facilities for this project. All costs for new fire protection facilities shall be paid by the Owner/Developer. Helix Water District does not allow private fire hydrants.

Easements will be required if proposed facilities that cannot be installed and maintained within existing easements or public right of way. All costs for new easements shall be paid by the Owner/Developer.

Please be aware that Helix Water District's pipeline project, work order 3615.2 is scheduled to begin construction in approximately three weeks. The subject parcels lie within the project area. You can find details of the project as it relates to the subject parcels on the attached drawings. If you require further detail regarding this project, please feel free to call Project Manager Jeffrey MacMaster at 619.667.6277 or email him at jeffrey.macmaster@helixwater.org.

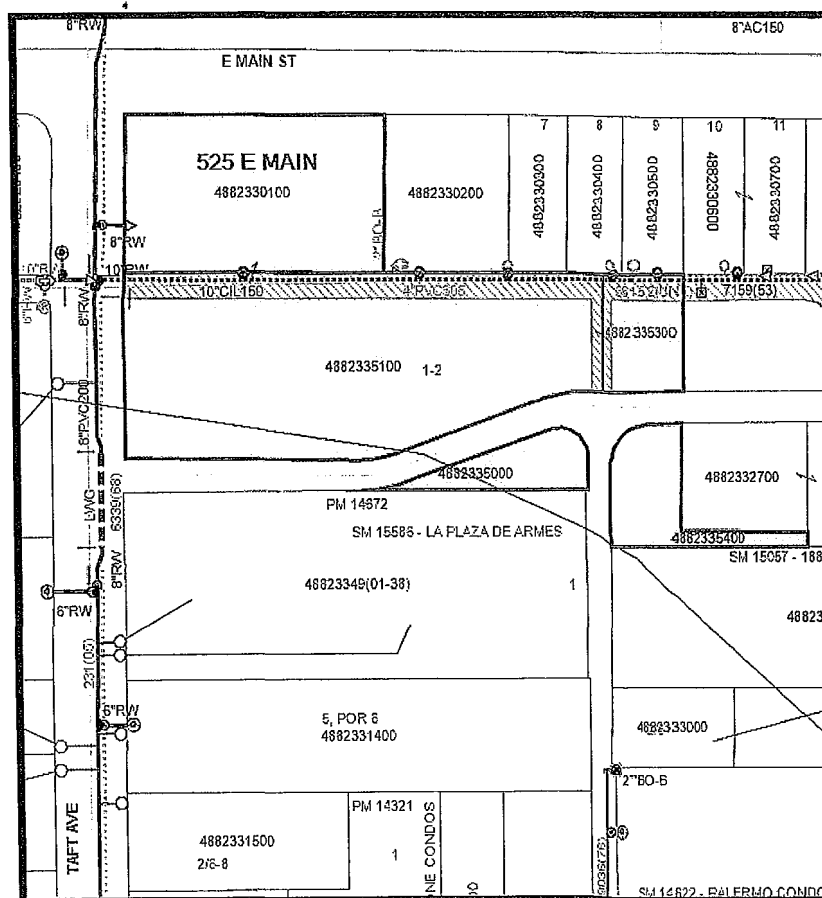
If you have any questions, please call me at 619.667.6280.

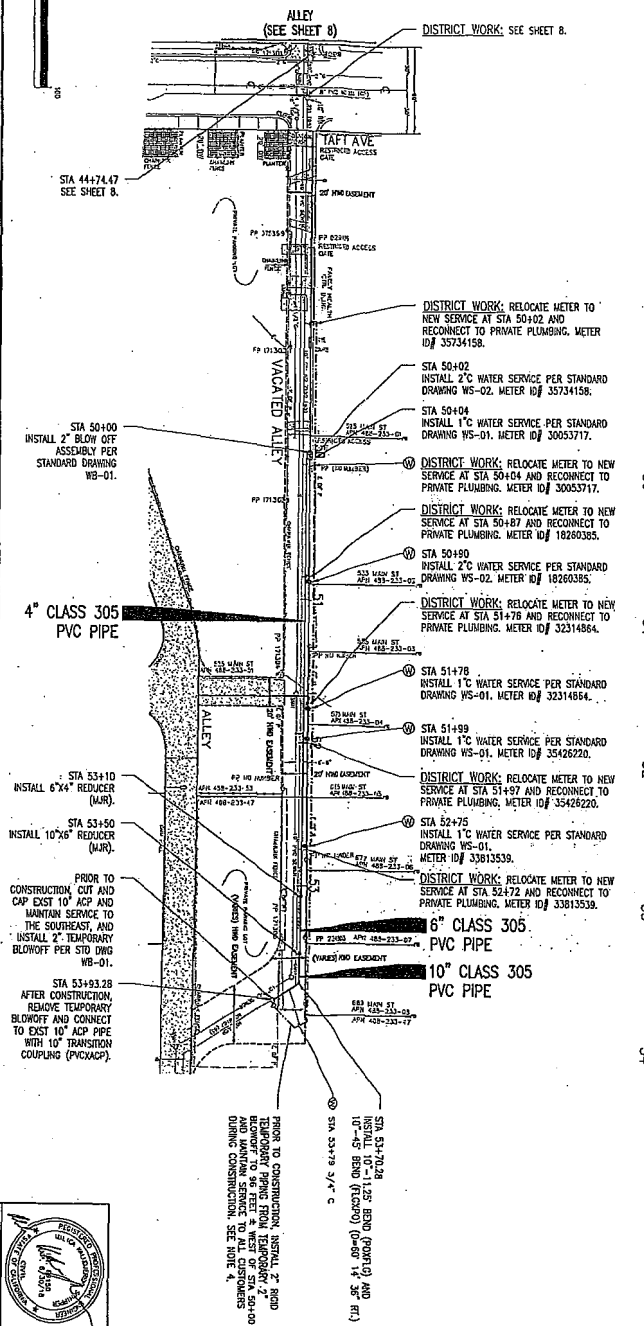
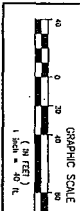
Sincerely,



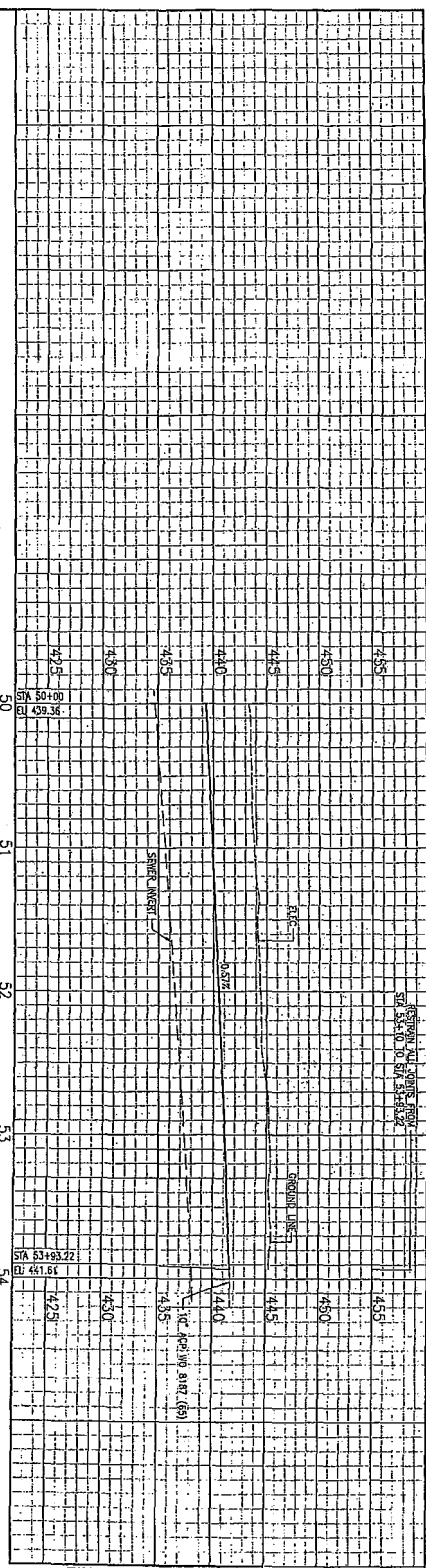
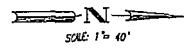
Carlos Perdomo
Engineering Technician

cc: Tim Ross, Aneld Anub, Karah Kingsbury, Darrin Teisher





HELIX WATER DISTRICT ALLEY AT TAFT AVENUE	
PROJECT NO. 3615.2 SHEET 9 OF 11 DATE 12/15/12	DRAWN BY: [Name] CHECKED BY: [Name] DATE: 12/15/12



NOTES

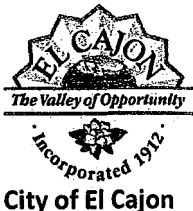
1. WATER RELOCATIONS: THE LOCATIONS SHOWN ON THE PLAN ARE PROPOSED AND THE FINAL LOCATION FOR THE DISTRICT ENGINEER.
2. IN THE AREAS WHERE THE DISTRICT IS RELOCATING WATER MAINS, THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING WATER MAINS AND BACKFILL AND COMPACT AS NECESSARY.
3. TEMPORARY PIPING SHALL BE CONSTRUCTED WITH PERMANENT BENCHMARKS PER SDGWB 99-03. WATER NECESSARY TO BE SUPPLIED TO PERMITS SHALL BE CONSTRUCTED WITH PERMANENT BENCHMARKS (TP).
4. TEMPORARY PIPING SHALL BE CONSTRUCTED WITH PERMANENT BENCHMARKS PER SDGWB 99-03. WATER NECESSARY TO BE SUPPLIED TO PERMITS SHALL BE CONSTRUCTED WITH PERMANENT BENCHMARKS (TP).

ELEVATION = 447.00' ASSUMPTION TOP OF SPERM BENCHMARK AT THE INTERSECTION OF TAFT AVENUE AND ALLEY.

PROFILE
 SCALE 1" = 40' VERT.
 1" = 5' HORIZ.
 BENCHMARK

Aerial Image
Family Health Center Expansion





Project Assistance Center
Planning Group
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested

- | | | | | | |
|------------------------------|------------------------------|------------------------------|------------------------------|------------------------------|---|
| <input type="checkbox"/> AZP | <input type="checkbox"/> CUP | <input type="checkbox"/> LLA | <input type="checkbox"/> PRD | <input type="checkbox"/> PUD | <input checked="" type="checkbox"/> SDP |
| <input type="checkbox"/> SP | <input type="checkbox"/> SCR | <input type="checkbox"/> TPM | <input type="checkbox"/> TSM | <input type="checkbox"/> VAR | <input checked="" type="checkbox"/> ZR |

Other: General Plan Amendment (GPA)

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: Family Health Centers of San Diego, Inc.

Contact Name: David Wisenhunt

Address: 525 E. Main St, El Cajon CA 92020

Phone: 619.515.2569 Email: davidw@fhcsd.org

Interest in Property: Own Lease Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Retail Amp Design

Contact Name: Anissa Gallego License: _____

Address: 1620 Fifth Ave, Suite 110 San Diego, CA 92101

Phone: 619.215.5126 Email: anissa@retailamp.net

Property Owner Information (if different than applicant)

Company Name: Family Health Center of San Diego, INC.

Contact Name: SAME AS ABOVE

Address: _____

Phone: _____ Email: _____

Project Location

Parcel Number (APN): 488-233-01, 488-233-50, 488-233-51, 488-233-53 AND 488-233-54

Address: 525 E. Main St, El Cajon CA 92020

Nearest Intersection: Taft Avenue at Main Street

Project Description (or attach separate narrative)

Proposed new 2,860 sf, single-story 'B' Occupancy structure on existing parking lot to support Physical Therapy at El Cajon Family Health Center. Minor site demolition, new accessible parking, landscaping, wood-frame construction. Project requires rezoning from "P" to "GC", and Amendment to General Plan and Site Development Permit

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:
 is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.
 is/are contained on the lists compiled pursuant to Government Code Section 65962.5.
If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹: [Signature] Date: 7/5/17
Property Owner Signature²: [Signature] Date: 7/5/17

- Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
- Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

- 1. List the names and addresses of all persons having a financial interest in the application.

Family Health Centers of San Diego

Contact: David Wisenhunt

List the names and address of all persons having any ownership interest in the property involved.

Family Health Centers of San Diego

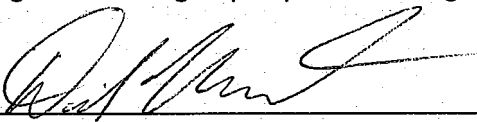
- 2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

- 3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes _____ No X_____

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

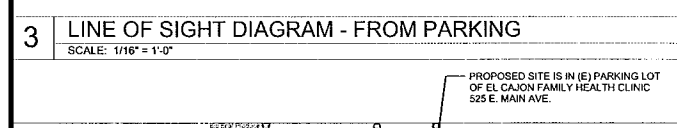
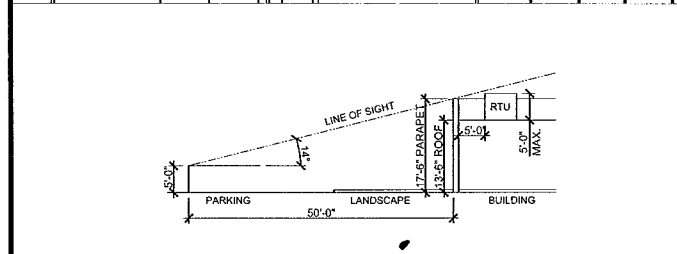
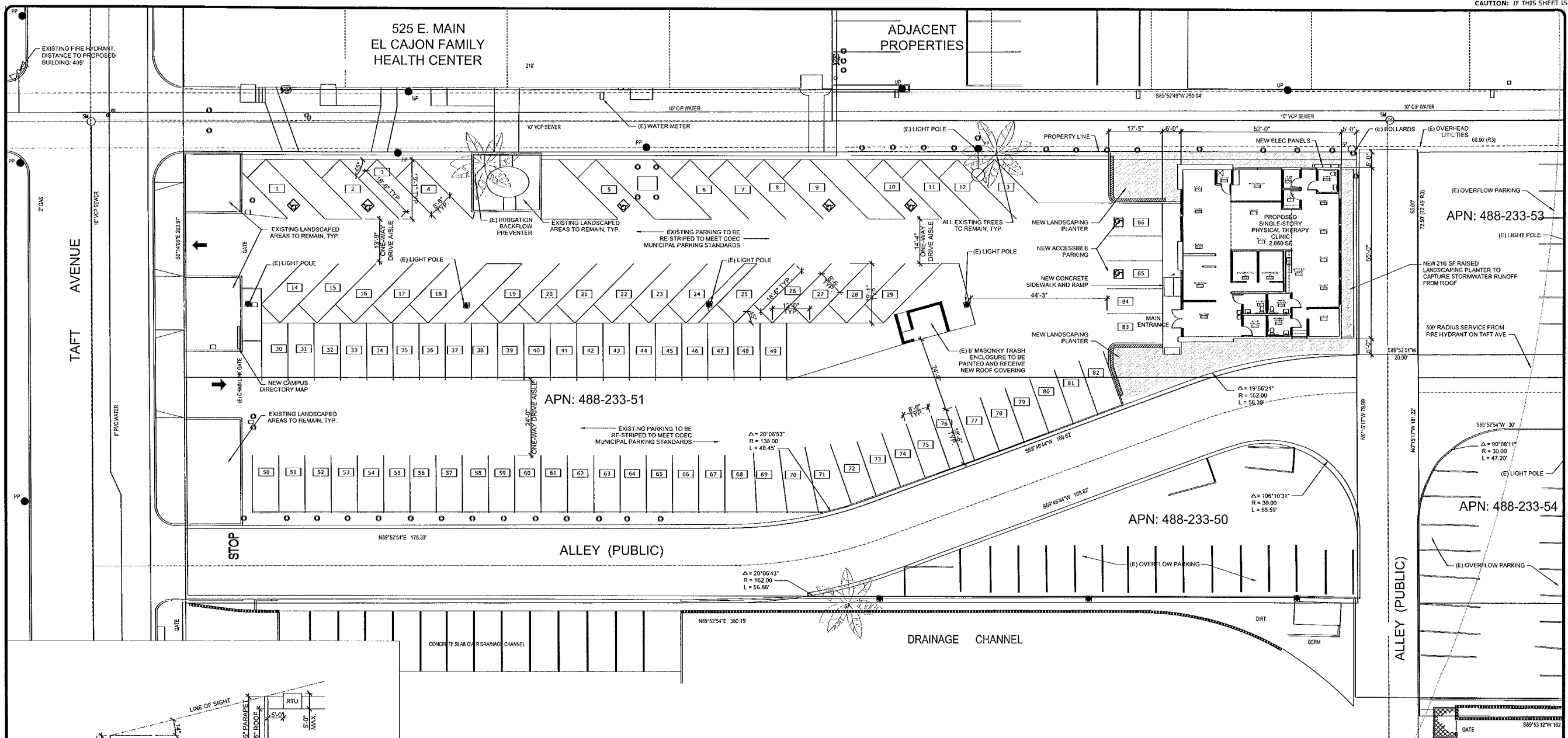
"Person" is defined as "Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert." Gov't Code §82047.



Signature of applicant / date

David Whisenant
Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.



1 PROPOSED PLAN
SCALE: 1/16" = 1'-0"

PROJECT INFORMATION
 SITE ADDRESS: 525 E. MAIN ST. EL CAJON CA 92020
 CURRENT GENERAL PLAN: HIGH DENSITY RESIDENTIAL (HR)
 PROPOSED GENERAL PLAN: GENERAL COMMERCIAL (GC)
 CURRENT ZONE: PARKING (P)
 PROPOSED ZONE: GENERAL COMMERCIAL (GC)
 ENTITLEMENTS: SPECIFIC PLAN NO. 324
 GENERAL PLAN NO. 358
 OVERLAY: DOWNTOWN MASTER PLAN - SPECIFIC PLAN NO. 182
 PROPOSED OCCUPANCY: B
 PROPOSED CONSTRUCTION TYPE: V-A
 PROPOSED NUMBER OF STORIES: 1 STORY, 35' MAX HT
 FIRE SUPPRESSION SYSTEM: YES
 FIRE ALARM SYSTEM: YES

BUILDING USAGE:
 THE PROPOSED BUILDING IS A 'B' OCCUPANCY, OSHPD 3, OUTPATIENT PHYSICAL THERAPY COMMUNITY CLINIC. IT IS USED TO PROVIDE MEDICAL CARE ON A LESS THAN A 24-HOUR BASIS TO INDIVIDUALS WHO ARE CLASSIFIED AS AMBULATORY AND CAPABLE OF SELF PRESERVATION BY SERVICES PROVIDED. THE CLINIC PROVIDES DOCTOR VISITS TO PATIENTS WHO ARE LOW INCOME OR WITHOUT MEDICAL INSURANCE. MOST PATIENTS RECEIVE PHYSICAL EXAM, HOT/COLD THERAPY, PHYSICAL THERAPY, CHIROPRACTIC SERVICES, PRESCRIPTIONS AND COUNSELING. IN THE EVENT OF A PATIENT EMERGENCY, STAFF STABILIZES THE PATIENT AND AN AMBULANCE IS CALLED FOR TRANSPORT TO A LOCAL HOSPITAL. NO OPERATIONS OR DIALYSIS PROCEDURES ARE PERFORMED.
 PREVIOUS RELATED PERMITS: EL CAJON FAMILY HEALTH CENTER PLANNING APPROVAL #53 BUILDING PERMIT #BP2016-434

SCOPE OF WORK:
 NEW CONSTRUCTION OF A 2,860 SF, FREE-STANDING SINGLE STORY BUILDING IN EXISTING PARKING LOT. NEW BUILDING WILL INCLUDE PATIENT RECEPTION, EXAM, RESTROOMS, AND THERAPY SPACES. NEW HVAC, WATER, SEWER, AND ELECTRICAL SERVICES. MINOR PAVING AND FENCING DEMOLITION. NEW LANDSCAPING AND ACCESSIBLE PARKING.

OWNER/TENANT: FAMILY HEALTH CENTERS OF SAN DIEGO
 3959 LOCKRIDGE ST. SAN DIEGO, CALIFORNIA, 92102
 CONTACT: DAVID WISENHUNT
 DIRECT LINE: (619) 515-2569

SITE INFORMATION:
 GROSS LOT AREA: 39,751 SF
 NET LOT AREA: 39,751 SF
 LOT COVERAGE: 2,860 SF / 7%
 EXISTING LANDSCAPE AREA: 1,578 SF
 NEW LANDSCAPING AREA: ±1,443 SF
 NEW RAIN WATER CAPTURE AREA: ±216 SF
 NEW COMMON CREATION AREA: 0 SF
 NEW GROSS BUILDING AREA: 2,860 SF

SITE NOTES:
 • PARKING LOT IS EXISTING AND PARKING SPACES WILL BE REDUCED TO ACCOMMODATE NEW BUILDING
 • ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES.
 • BUILDING ADDRESS AND SIGNAGE WILL BE REVIEWED AND APPROVED UNDER A SEPARATE PERMIT
 • FAMILY HEALTH CENTERS OF SAN DIEGO WILL BE RESPONSIBLE FOR THE MAINTENANCE OF LANDSCAPED AREAS, INCLUDING PLANTS, SOIL, AND IRRIGATION.
 • STORMWATER: SITE IS IN COMPLIANCE WITH STANDARD, LOW-IMPACT DEVELOPMENT

PARKING CALCULATIONS:
 PROPOSED BUILDING TOTAL: 2,860 SF
 REQUIRED: 1 SPACE/ 250 SF (UP TO 10,000 SF) = 11 (86 PROVIDED)
 NUMBER OF ACCESSIBLE SPACES REQUIRED = 1 SPACE (PER TABLE 11B-6) (2 PROVIDED)

STORM WATER NOTES

- ALL OPERATIONS SHALL COMPLY WITH THE CITY'S JURISDICTIONAL RUNOFF MANAGEMENT PROGRAM (JRM) AND THE CITY'S STORM WATER ORDINANCE (MUNICIPAL CODE 13.10 AND 16.60) TO MINIMIZE OR ELIMINATE DISCHARGES OF POLLUTANTS TO THE STORM DRAIN SYSTEM. OPERATIONS SHALL INCLUDE IMPLEMENTATION OF BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:
- ONLY RAIN IS PERMITTED TO ENTER THE STORM DRAIN SYSTEM. DISCHARGES (DIRECT OR BY CONVEYANCE) OF TRASH, DEBRIS, VEHICLE FLUIDS, OR WASTEWATER (INCLUDING WASHING FLUIDS) TO THE STORM DRAIN SYSTEM ARE STRICTLY PROHIBITED.
- PROVIDE SUFFICIENT TRASH RECEPTACLES. DISPOSE OF WASTES PROPERLY. SWEEP OR VACUUM TO CLEAN OUTDOOR AREAS (TRASH ENCLOSURES, SIDEWALKS, AND PARKING LOTS). POWER WASHING IN OUTDOOR AREAS IS STRICTLY PROHIBITED.
- MAINTAIN PARKING AREA TO BE FREE FROM TRASH AND PETROLEUM LEAKS.
- ALL DUMPSTERS USED BY THIS PROJECT SHALL HAVE LOCKABLE LIDS. ALL LIDS ON DUMPSTERS SHALL REMAIN CLOSED WHILE DUMPSTER IS NOT DIRECTLY IN USE AND LOCKED AFTER BUSINESS HOURS. ALL DUMPSTERS SHALL BE PROPERLY STORED INSIDE OF A BUILDING OR IN A COVERED TRASH ENCLOSURE.
- ALL TRASH ENCLOSURES MUST BE SECURED, COVERED WITH AN IMPERVIOUS ROOF, AND CONSTRUCTED WITH A BERM OR GRADE-BREAK ACROSS THE ENTIRE ENTRANCE IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLIC WORKS STORM WATER ATTACHMENT NO. 2 (AVAILABLE TO THE PUBLIC ON THE CITY OF EL CAJON WEBSITE).
- ALL MATERIALS MUST BE STORED IN A PROPERLY COVERED AND CONTAINED AREA THAT WILL NOT BE EXPOSED TO URBAN RUN-ON AND RUN-OFF.
- ALL VEHICLE MAINTENANCE ACTIVITIES MUST BE CONDUCTED IN A COVERED AND CONTAINED BUILDING THAT IS PROTECTED FROM URBAN RUN-ON AND RUN-OFF. MAINTENANCE AREAS SHALL DRAIN TO A SELF-CONTAINED SUMP OR THROUGH AN APPROVED PRETREATMENT SYSTEM, SUCH AS A SAND AND OIL SEPARATOR SYSTEM, THAT IS CONNECTED TO THE SANITARY SEWER.
- ALL STORM WATER RUNOFF TREATMENT CONTROL MECHANISMS (CATCH BASIN HYDROCARBON FILTERS, LOW IMPACT DEVELOPMENT (LID) BMPs, OR OTHERWISE) EMPLOYED ON SITE SHALL BE MAINTAINED TO BE IN GOOD WORKING ORDER AND REPLACED AS NECESSARY. SEE MANUFACTURER'S RECOMMENDATIONS FOR MAINTENANCE AND REPLACEMENT.

FOR PUBLIC WORKS REQUIREMENTS ON THIS PLANNING ACTION, PLEASE REFER TO THE CONDITIONS OF APPROVAL. THIS SITE PLAN MAY NOT CLEARLY SHOW EXISTING OR PROPOSED IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY AND SHOULD NOT BE USED FOR PUBLIC IMPROVEMENT CONSTRUCTION PURPOSES.

DRAWING INDEX

ARCHITECTURAL	DESCRIPTION
A100	SITE PLAN
A101	ALTA SURVEY
A102	LANDSCAPE PLAN
A200	EXTERIOR ELEVATIONS
A201	RENDERING - FACADES + MATERIAL NOTES
A202	RENDERING - 3D

FAMILY HEALTH CENTERS OF SAN DIEGO
El Cajon Family Health Center
 525 E Main Street, El Cajon, CA 92020
NEW PT CLINIC

Contact: **David Wisenhunt**
 Director of Construction
 3959 Lockridge Street
 San Diego, CA 92102

DATE	DESCRIPTION
07/03/17	CITY OF EL CAJON PLANNING I
09/28/17	CITY OF EL CAJON PLANNING II
12/04/17	CITY OF EL CAJON PLANNING III
01/26/18	CITY OF EL CAJON PLANNING IV

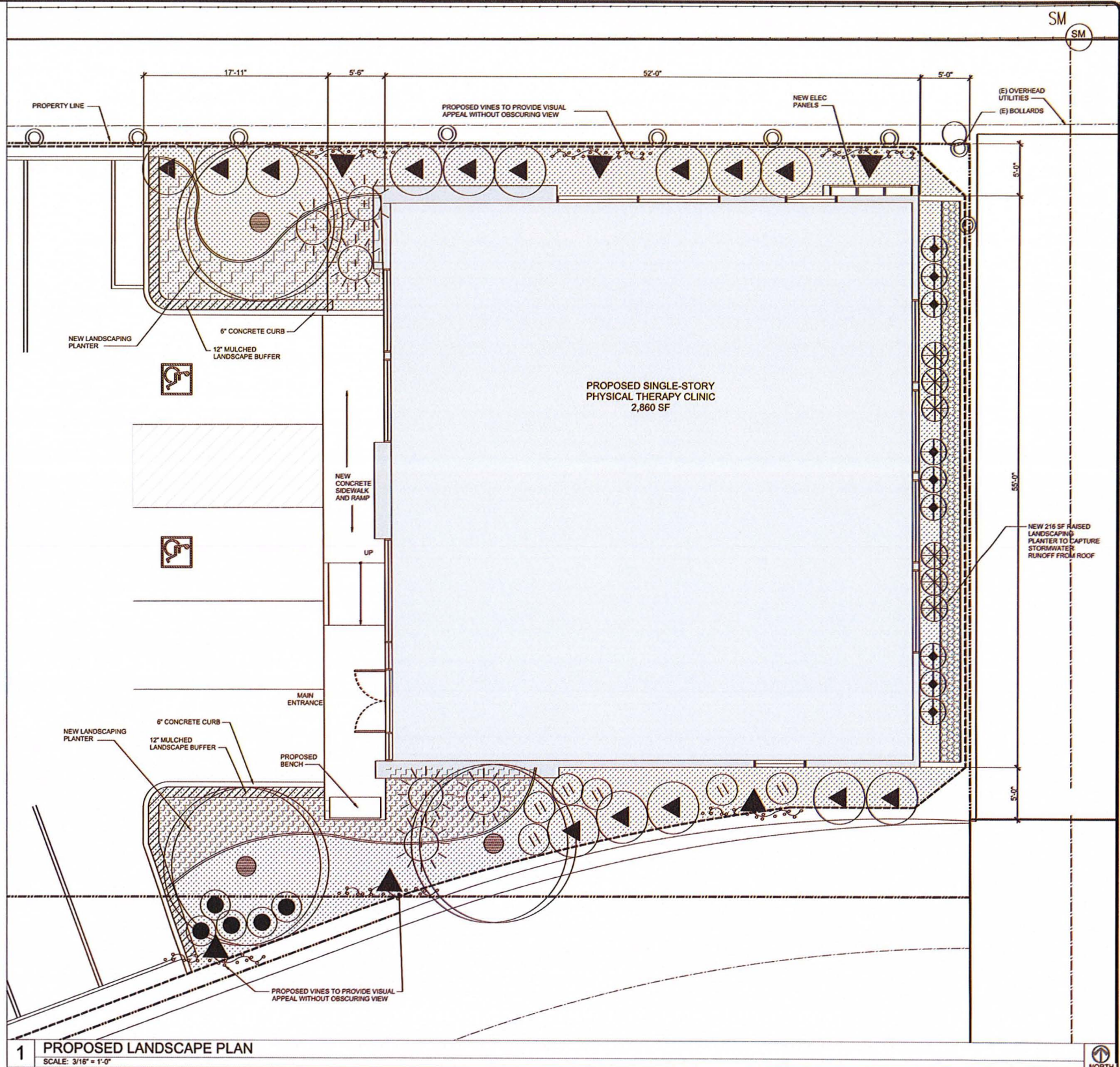
SITE PLAN
A100

CITY OF EL CAJON
 PERMIT NO.: _____
 APPLICANT: **FAMILY HEALTH CENTERS OF SAN DIEGO**
 ASSESSOR PARCEL NO(S): **APN: 488-233-51, 488-233-50, 488-233-01, 488-233-53 AND 488-233-54**
 REQUEST: **General Plan Amendment from (HR) to (GC) Zone Reclassification from (P) to (GC) Site Development Permit Addition of Physical Therapy Clinic at existing 525 E. Main Clinic**
 PC RESOLUTION No. _____ APPROVED BY: _____
 CC RESOLUTION No. _____
 ORDINANCE No. _____
 DATE: _____

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF FHCS PRIOR TO COMMENCEMENT OF ANY WORK.

PLANTING LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	IMAGE
	GEIJERA PARVIFOLIA	AUSTRALIAN WILLOW	24" BOX STD	L	
	BIGNONIA CHERERE	BLOOD RED TRUMPET VINE	5 GAL	M	
SHRUBS					
	LANTANA 'NEW GOLD'	'NEW GOLD' LANTANA	1 GAL	VL	
	TECOMA STANS 'ORANGE JUBILEE'	ORANGE MARMALADE TECOMA	5 GAL	L	
	CALLISTEMON 'LITTLE JOHN'	DWARF BOTTLEBRUSH	5 GAL	L	
	HESPERALOE PARVIFLORA	RED YUCCA	15 GAL	L	
GROUNDCOVERS/SUCCULENTS					
	SENECIO MADRALISCAE	BLUE CHALK STICK	FLATS 8" O.C.	L	
	CAREX TUMULICOLA	BERKELY SEDGE	1 GAL 12" O.C.	L	
	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'	FEATHER REED GRASS	1 GAL 12" O.C.	L	
	LEYMUS CONDENSATUS 'CANYON PRINCE'	'CANYON PRINCE' WILD RYE	1 GAL 12" O.C.	L	
	BARK MULCH 3" DEPTH SUPREME 'WALK-ON'	GENERAL GROUND COVER			



SCOPE OF WORK:

NEW LANDSCAPE AREA SURROUNDING PROPOSED PHYSICAL THERAPY CLINIC WILL BE REGIONALLY APPROPRIATE, LOW-WATER PLANTINGS VARYING IN HEIGHT, COLOR, AND TEXTURE TO PROVIDE HIGH VISUAL APPEAL. THE LANDSCAPE WORK WILL COMPLY WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE, AND A LANDSCAPE DOCUMENTATION PACKAGE (LDP) SHALL BE SUBMITTED PRIOR TO ISSUANCE OF BUILDING PERMITS.

SITE INFORMATION:

GROSS LOT AREA:	39,751 SF
NET LOT AREA:	39,751 SF
EXISTING LANDSCAPE AREA:	1,578 SF
NEW LANDSCAPING AREA:	±1,443 SF
NEW RAIN WATER CAPTURE AREA:	±216 SF
NEW COMMON CREATION AREA:	0 SF
NEW GROSS BUILDING AREA:	2,860 SF

IRRIGATION NOTES:

A HIGH-EFFICIENCY DRIP IRRIGATION SYSTEM WILL DELIVER WATER TO ALL NEW PLANTS, IN COMPLIANCE WITH CURRENT STATE OF CALIFORNIA WATER CONSERVATION CODES. WATER USE CALCULATIONS WILL BE COMPLETED DURING FINAL DESIGN.

A NEW REDUCED-PRESSURE TYPE BACKFLOW PREVENTER WILL BE LOCATED ADJACENT TO THE DOMESTIC MAINLINE AND WILL SERVE A SERIES OF NEW REMOTE CONTROL VALVES & QUICK COUPLER VALVES.

A NEW SMART-CONTROLLER WILL REGULATE WATER APPLICATION TO ALL LANDSCAPE AREAS IN RELATION TO WEATHER PATTERNS & SEASONAL TEMPERATURE LEVELS.

HYDRO-ZONES WITH SIMILAR SOLAR AND WIND EXPOSURES WILL BE CONTROLLED ON SEPARATE VALVES, PROGRAMMED TO SERVE THE SPECIFIC WATER NEEDS OF PLANTS GROUPED WITHIN THAT HYDRO-ZONE.

ROOT WATERING DEVICES WILL BE PROVIDED FOR ALL TREES ON A SEPARATE VALVE.

FAMILY HEALTH CENTERS OF SAN DIEGO
El Cajon Family Health Center
525 E Main Street, El Cajon, CA 92020
NEW PT CLINIC



Contact:
David Wisenhunt
Director of Design & Construction
3959 Lockridge Street
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12/04/17	CITY OF EL CAJON PLANNING III
01/26/18	CITY OF EL CAJON PLANNING IV

LANDSCAPE PLAN

A102

CITY OF EL CAJON

PERMIT NO.:

APPLICANT: **FAMILY HEALTH CENTERS OF SAN DIEGO**

ASSESSOR PARCEL NO(S): **APH: 488-233-51, 488-233-50, 488-233-01, 488-233-53 AND 488-233-54**

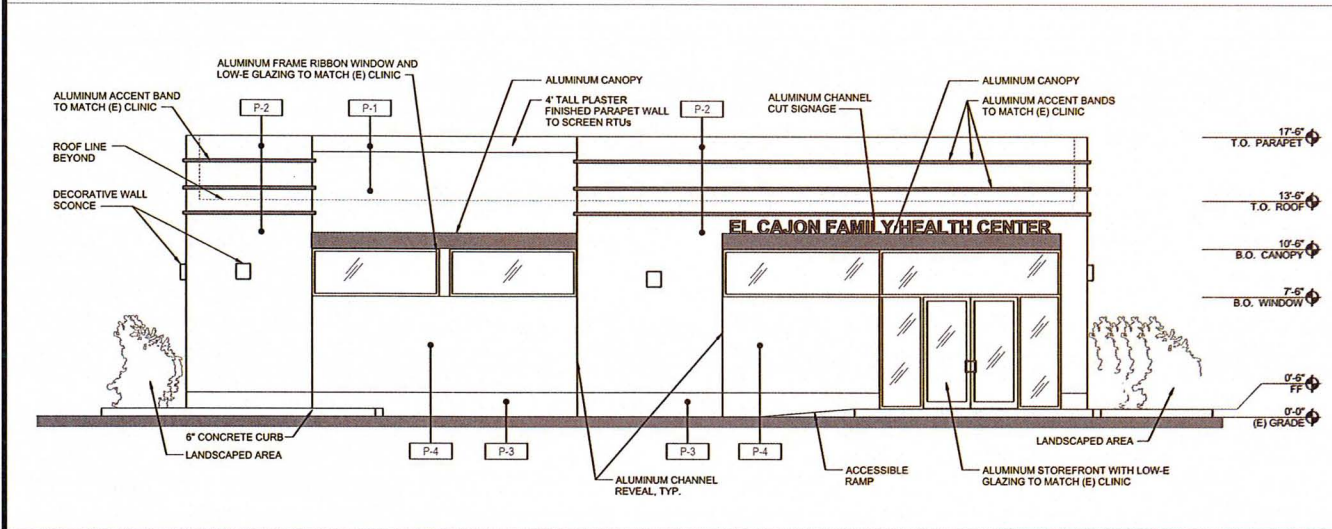
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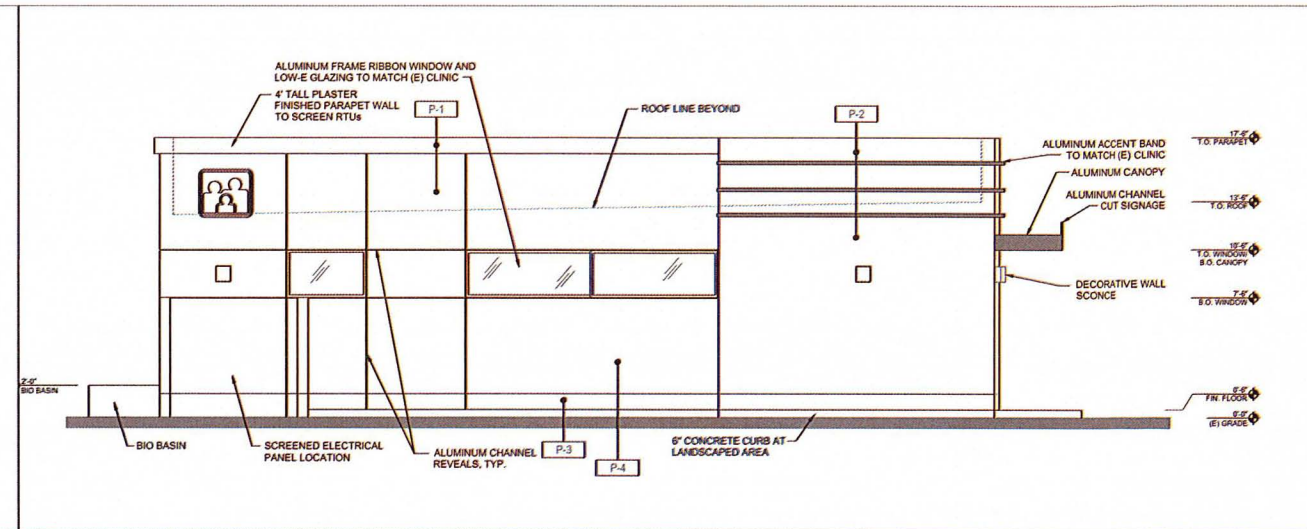
CC RESOLUTION No. _____

ORDINANCE No. _____ DATE: _____

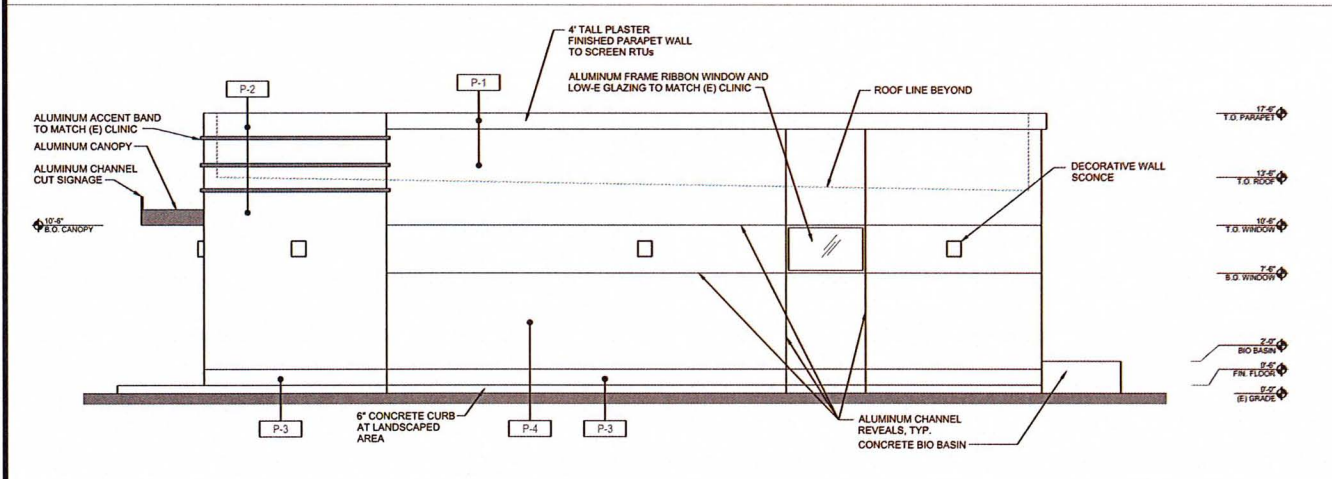
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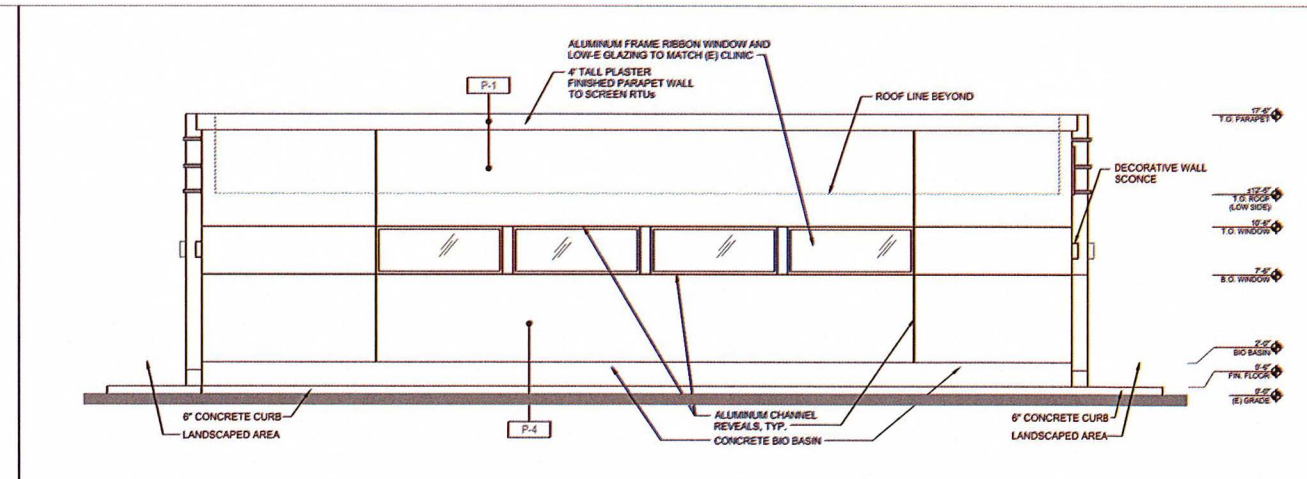
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2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 EAST ELEVATION
SCALE: 1/4" = 1'-0"

PAINT FINISHES

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P-2	DESCRIPTION: SNOW PEAK SUPPLIER: DUNN EDWARDS COLOR: DE6386 FINISH 1: - NOTES: -	
P-3	DESCRIPTION: ZOLATONE-20 SUPPLIER: - COLOR: - FINISH 1: SPECKLED FINISH NOTES: -	
P-4	DESCRIPTION: GRAY CLOUDS SUPPLIER: SHERWIN WILLIAMS COLOR: SW 7658 FINISH 1: - NOTES: -	

FAMILY HEALTH CENTERS OF SAN DIEGO
El Cajon Family Health Center
525 E Main Street, El Cajon, CA 92020
NEW PT CLINIC

Contact:
David Wisenhunt
Director of Design & Construction
1191 S. 15th Street
3rd Floor
San Diego, CA 92102

DATE	DESCRIPTION
07/03/17	CITY OF EL CAJON PLANNING I
09/28/17	CITY OF EL CAJON PLANNING II
12/04/17	CITY OF EL CAJON PLANNING III
01/26/18	CITY OF EL CAJON PLANNING IV

EXTERIOR ELEVATIONS
A200

CITY OF EL CAJON

PERMIT NO.:

APPLICANT: FAMILY HEALTH CENTERS OF SAN DIEGO

ASSESSOR PARCEL NO(S): APN: 488-233-51, 488-233-50, 488-233-01, 488-233-53 AND 488-233-54

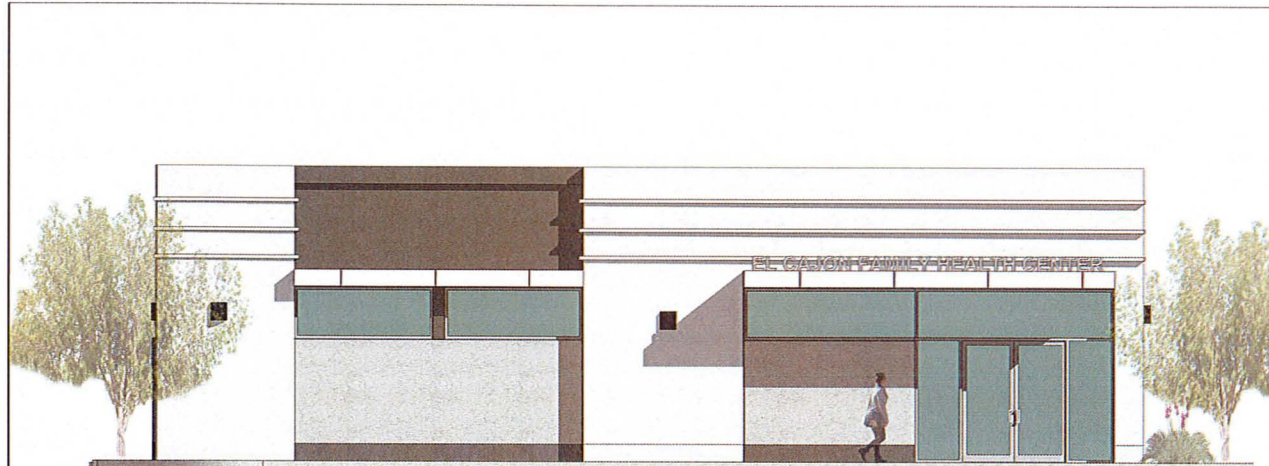
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Site Development Permit
Addition of Physical Therapy Clinic at existing 525 E. Main Clinic

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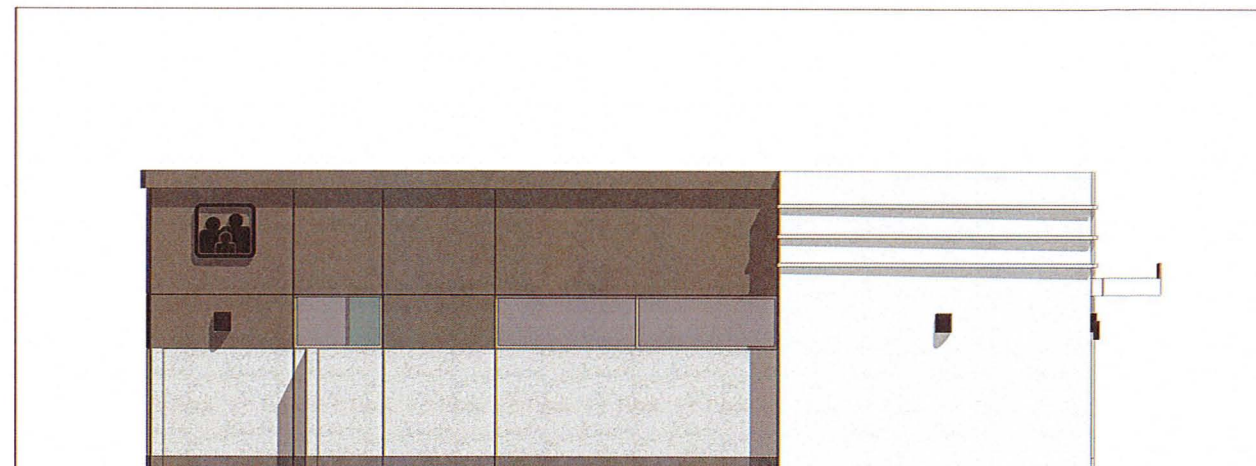
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ORDINANCE No. _____ DATE: _____

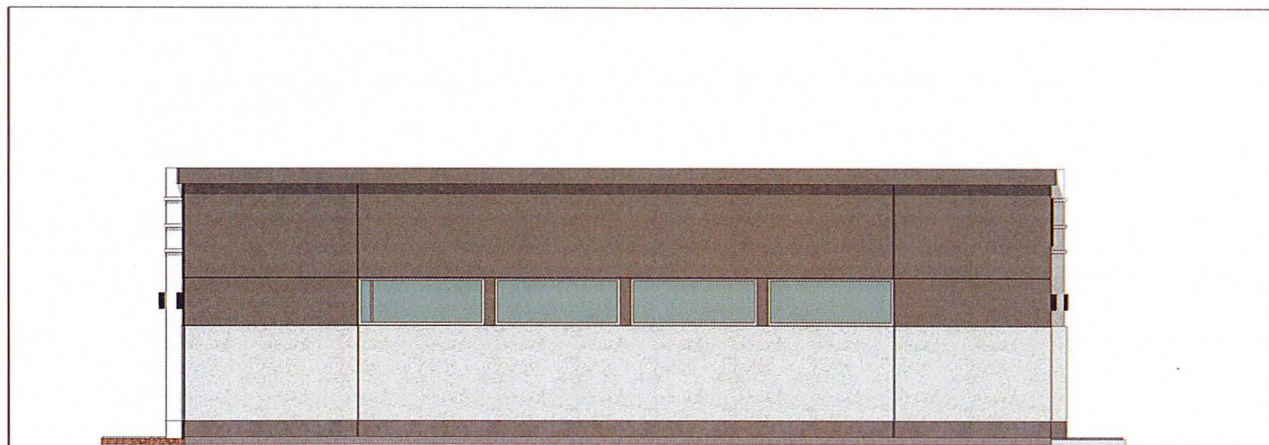
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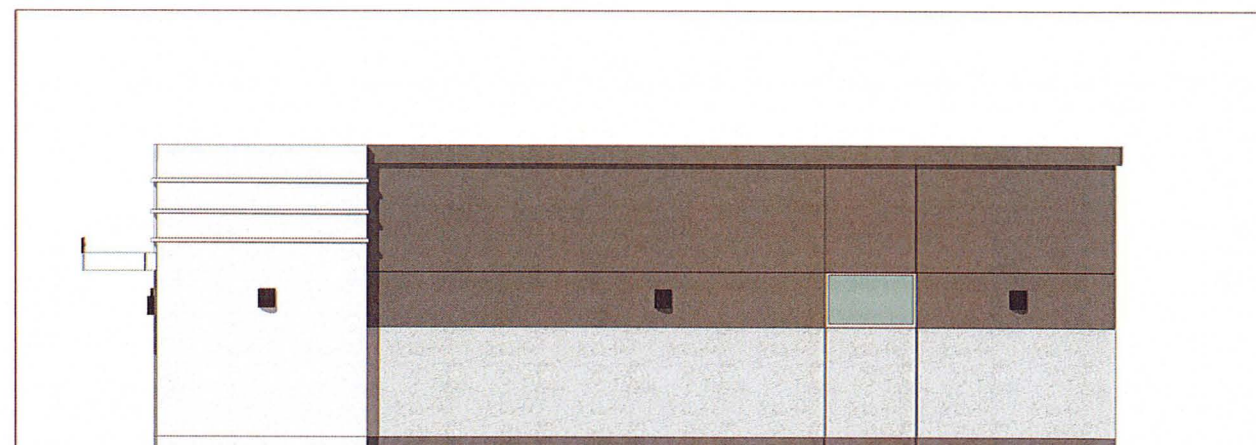
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NOT TO SCALE



2 RENDERING - NORTH FACADE
NOT TO SCALE







3 RENDERING - EAST FACADE
NOT TO SCALE

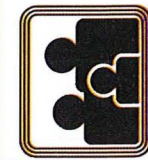


4 RENDERING - SOUTH FACADE
NOT TO SCALE

PAINT FINISHES

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<p>P-2 DESCRIPTION: SNOW PEAK SUPPLIER: DUNN EDWARDS COLOR: DE6388 FINISH 1: - NOTES: -</p>			
<p>P-3 DESCRIPTION: ZOLATONE-20 SUPPLIER: - COLOR: - FINISH 1: SPECKLED FINISH NOTES: -</p>			

FAMILY HEALTH CENTERS OF SAN DIEGO
El Cajon Family Health Center
525 E Main Street, El Cajon, CA 92020



NEW PT CLINIC

Contact:
David Wisenhunt
Director of Design & Construction
(619) 515-2569
3989 Lockridge Street
San Diego, CA 92102

DATE	DESCRIPTION
07/03/17	CITY OF EL CAJON PLANNING II
09/28/17	CITY OF EL CAJON PLANNING III
12/04/17	CITY OF EL CAJON PLANNING III
01/26/18	CITY OF EL CAJON PLANNING IV

RENDERINGS

A201

CITY OF EL CAJON

PERMIT NO.:

APPLICANT: FAMILY HEALTH CENTERS OF SAN DIEGO
ASSESSOR PARCEL NO(S): APN: 488-233-51, 488-233-50, 488-233-01, 488-233-53 AND 488-233-54

REQUEST: General Plan Amendment from (HR) to (GC)
Zone Reclassification from (P) to (GC)
Site Development Permit
Addition of Physical Therapy Clinic at existing 525 E. Main Clinic

PC RESOLUTION No. _____ APPROVED BY: _____
CC RESOLUTION No. _____

ORDINANCE No. _____ DATE: _____

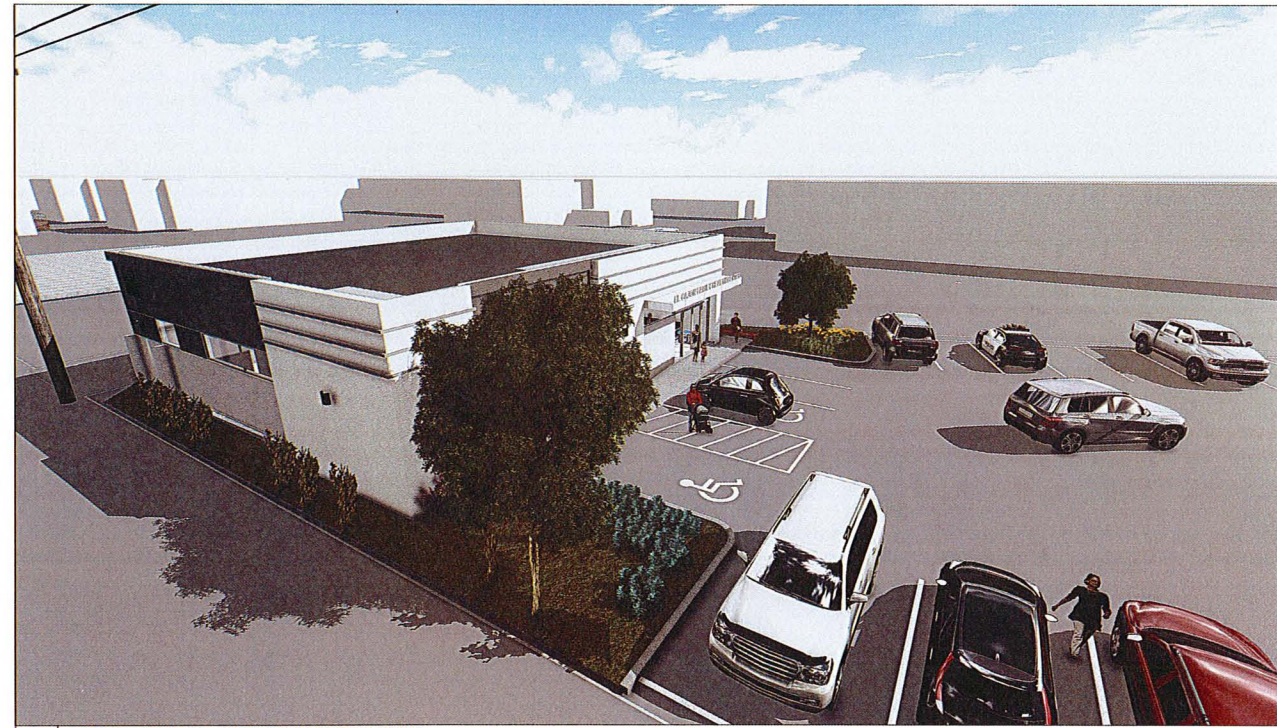
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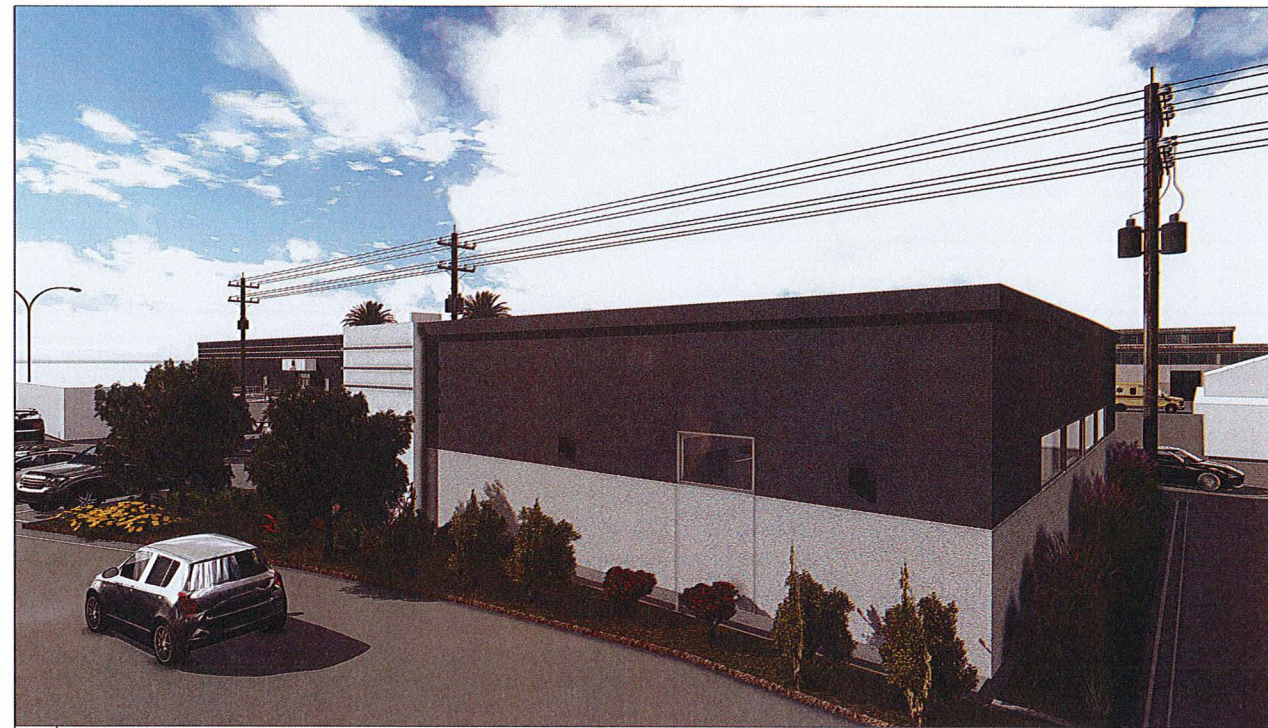
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2 RENDERING - SOUTHWEST VIEW
NOT TO SCALE

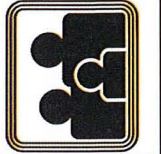


3 RENDERING - NORTHWEST VIEW
NOT TO SCALE



4 RENDERING - EAST VIEW
NOT TO SCALE

FAMILY HEALTH CENTERS OF SAN DIEGO
El Cajon Family Health Center
525 E Main Street, El Cajon, CA 92020
NEW PT CLINIC



Contact:
David Wisenhunt
Director of Design & Construction
(619) 515-2569
3959 Lockridge Street
San Diego, CA 92102

DATE	DESCRIPTION
07/03/17	CITY OF EL CAJON PLANNING I
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12/04/17	CITY OF EL CAJON PLANNING III
01/26/18	CITY OF EL CAJON PLANNING IV

RENDERINGS
3D

A202

CITY OF EL CAJON

PERMIT NO.: _____

APPLICANT: FAMILY HEALTH CENTERS OF SAN DIEGO

ASSESSOR PARCEL NO(S): APN: 488-233-51, 488-233-50, 488-233-01, 488-233-53 AND 488-233-54

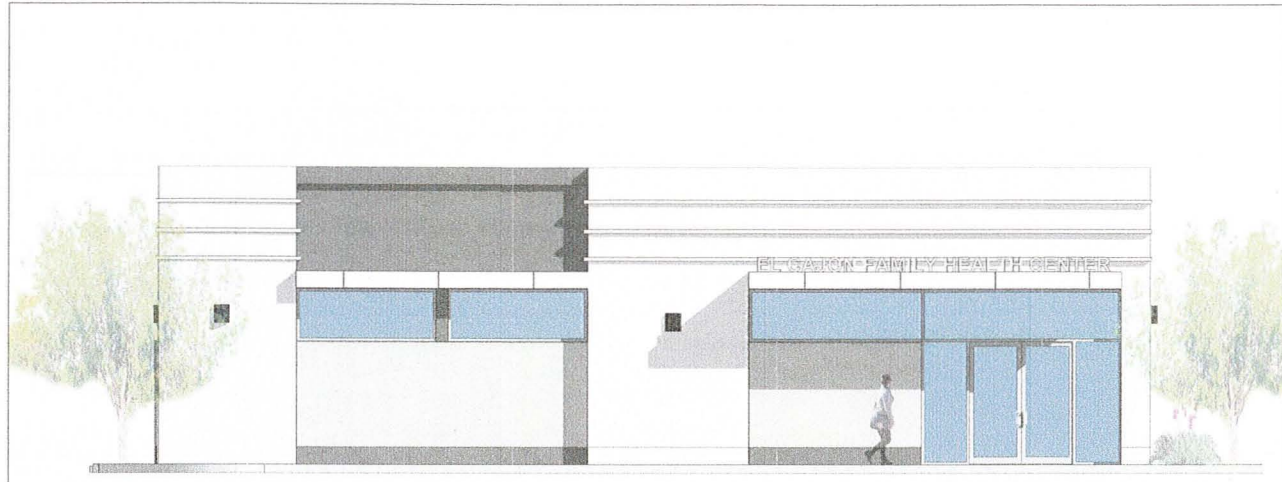
REQUEST: General Plan Amendment from (HR) to (GC)
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Site Development Permit:
Addition of Physical Therapy Clinic at existing 525 E. Main Clinic

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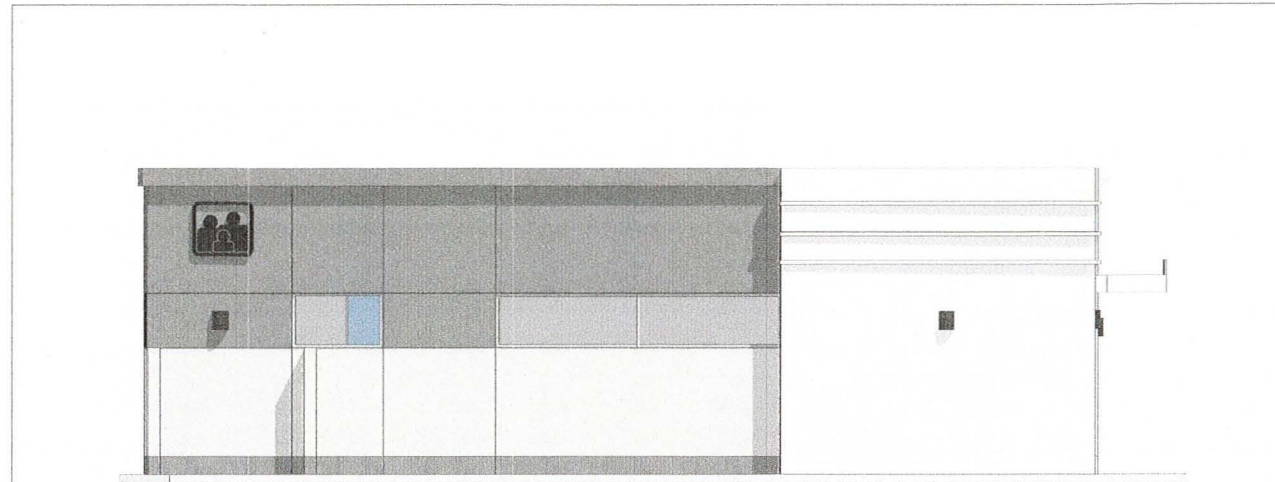
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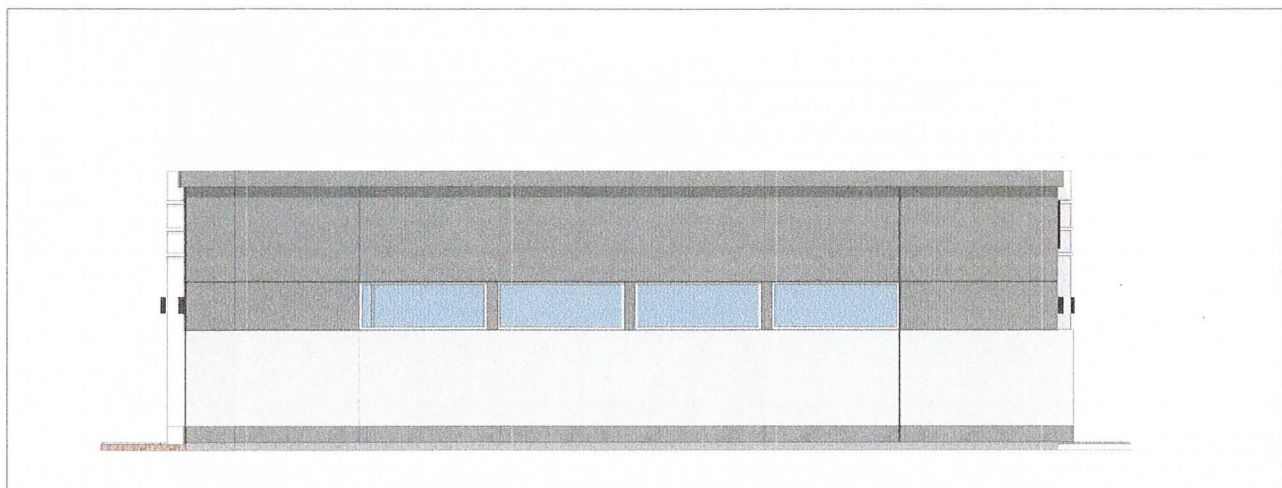
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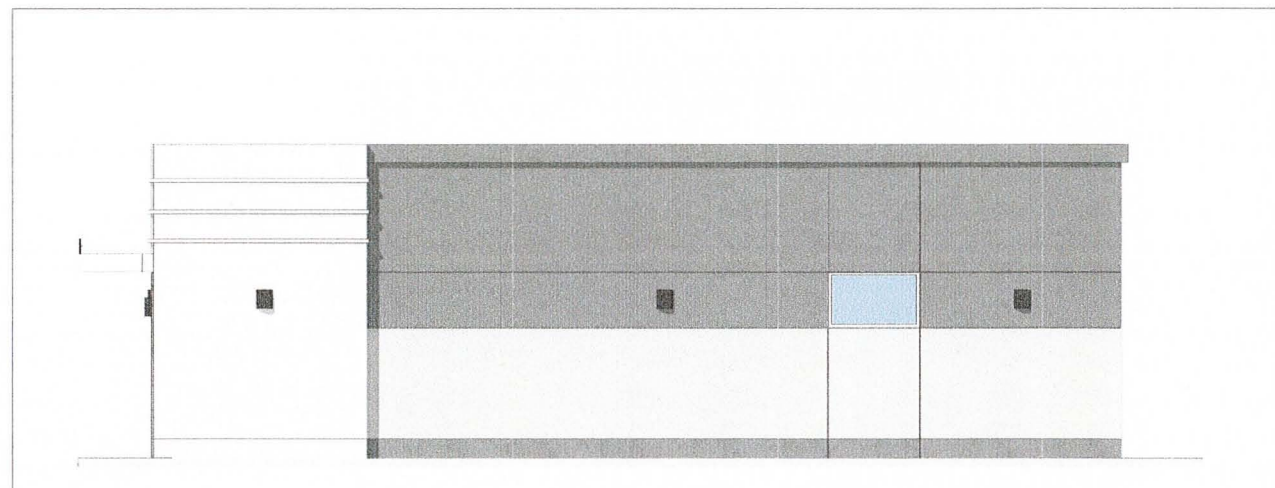
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NOT TO SCALE



2 RENDERING - NORTH FACADE
NOT TO SCALE



3 RENDERING - EAST FACADE
NOT TO SCALE

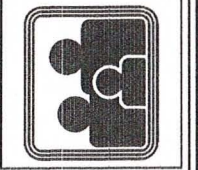


4 RENDERING - SOUTH FACADE
NOT TO SCALE

PAINT FINISHES

P-1	DESCRIPTION: SLATE SUPPLIER: - COLOR: SLATE FINISH 1: - FORMULA: 07.0Y + 25.30, 0Y + 8.5, 1Y + 22.00(A)		P-4	DESCRIPTION: GRAY CLOUDS SUPPLIER: SHERWIN WILLIAMS COLOR: SW 7658 FINISH 1: - NOTES: -	
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El Cajon Family Health Center
525 E Main Street, El Cajon, CA 92020
NEW PT CLINIC



Contact:
David Wisenhunt
Director of Construction
(619) 515-2600
3959 Loosridge Street
San Diego, CA 92102

DATE	DESCRIPTION
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RENDERINGS

A201

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CITY OF EL CAJON

PERMIT NO.: _____

APPLICANT: **FAMILY HEALTH CENTERS OF SAN DIEGO**

ASSESSOR PARCEL NO(S): **APN: 488-233-51, 488-233-50, 488-233-01, 488-233-53 AND 488-233-54**

REQUEST: **General Plan Amendment from (HR) to (GC)
Zone Reclassification from (P) to (GC)
Site Development Permit
Addition of Physical Therapy Clinic at existing 525 E. Main Clinic**

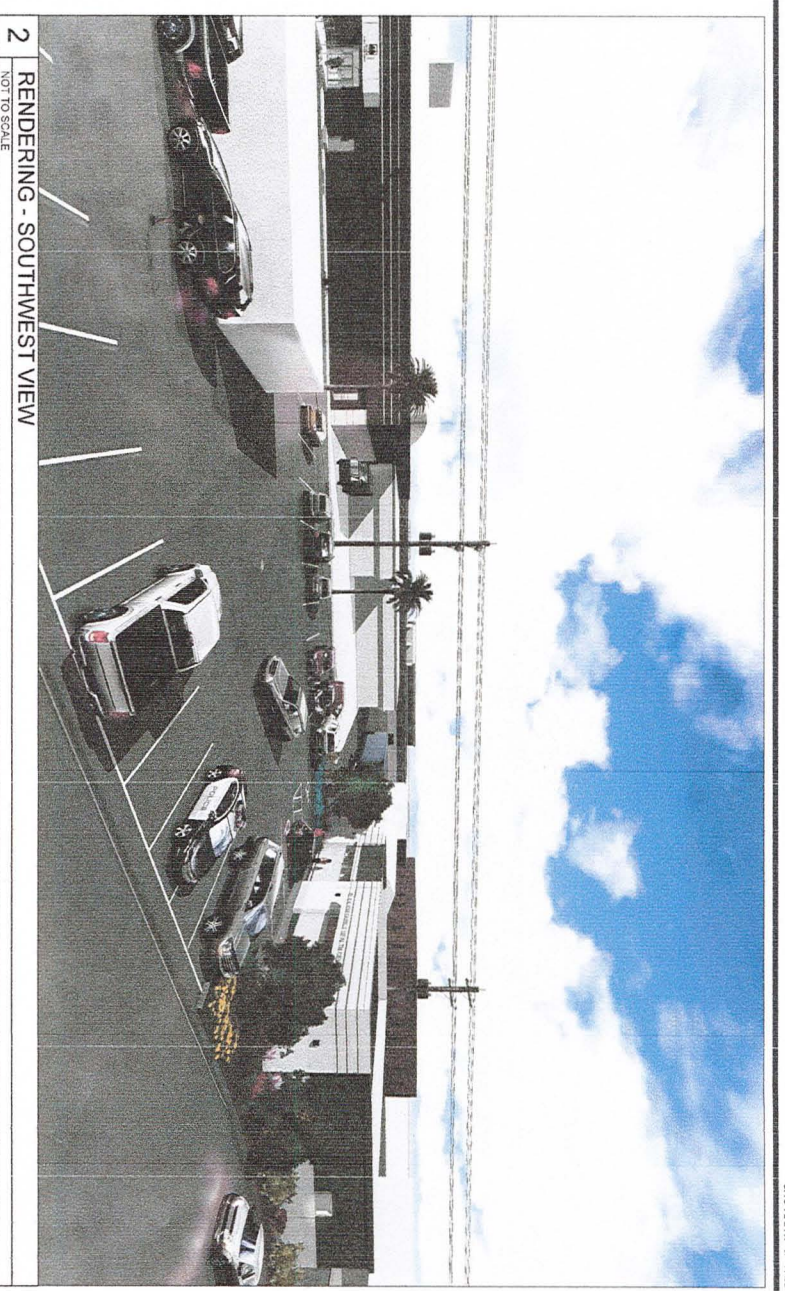
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CC RESOLUTION No. _____

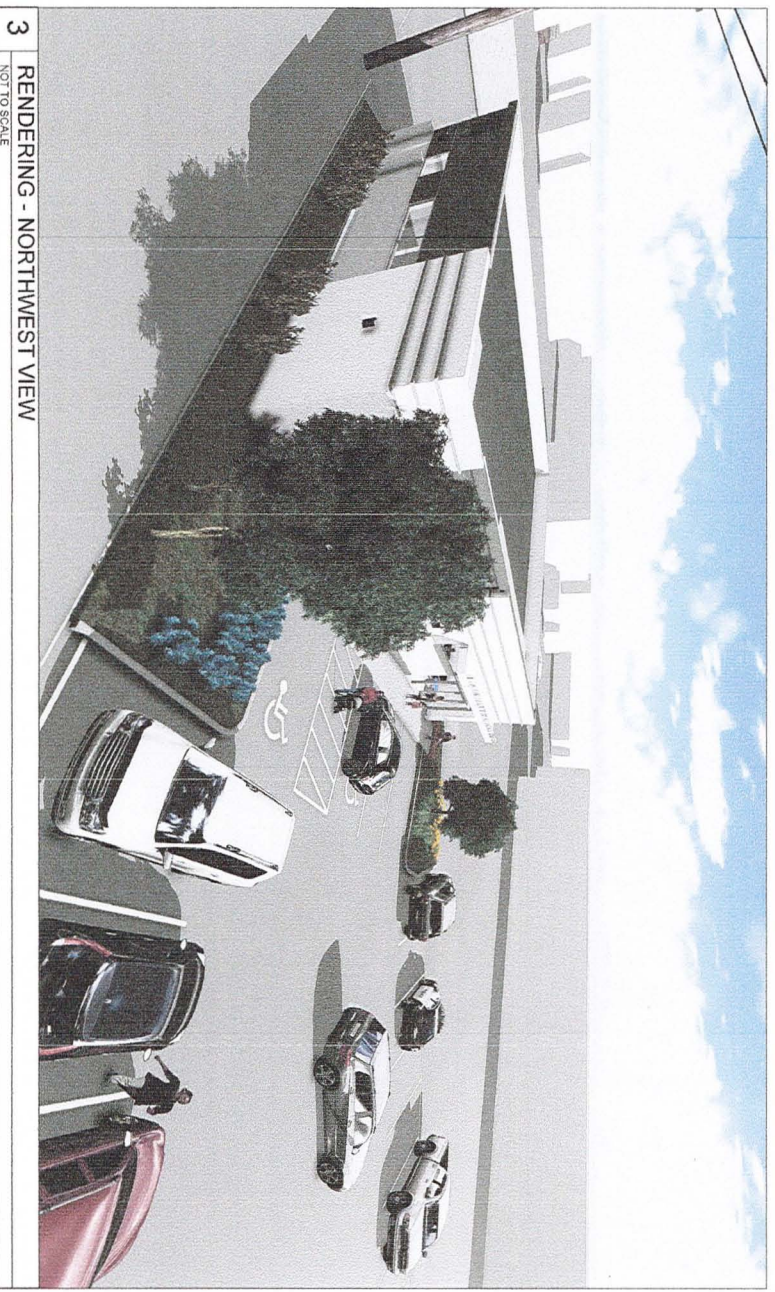
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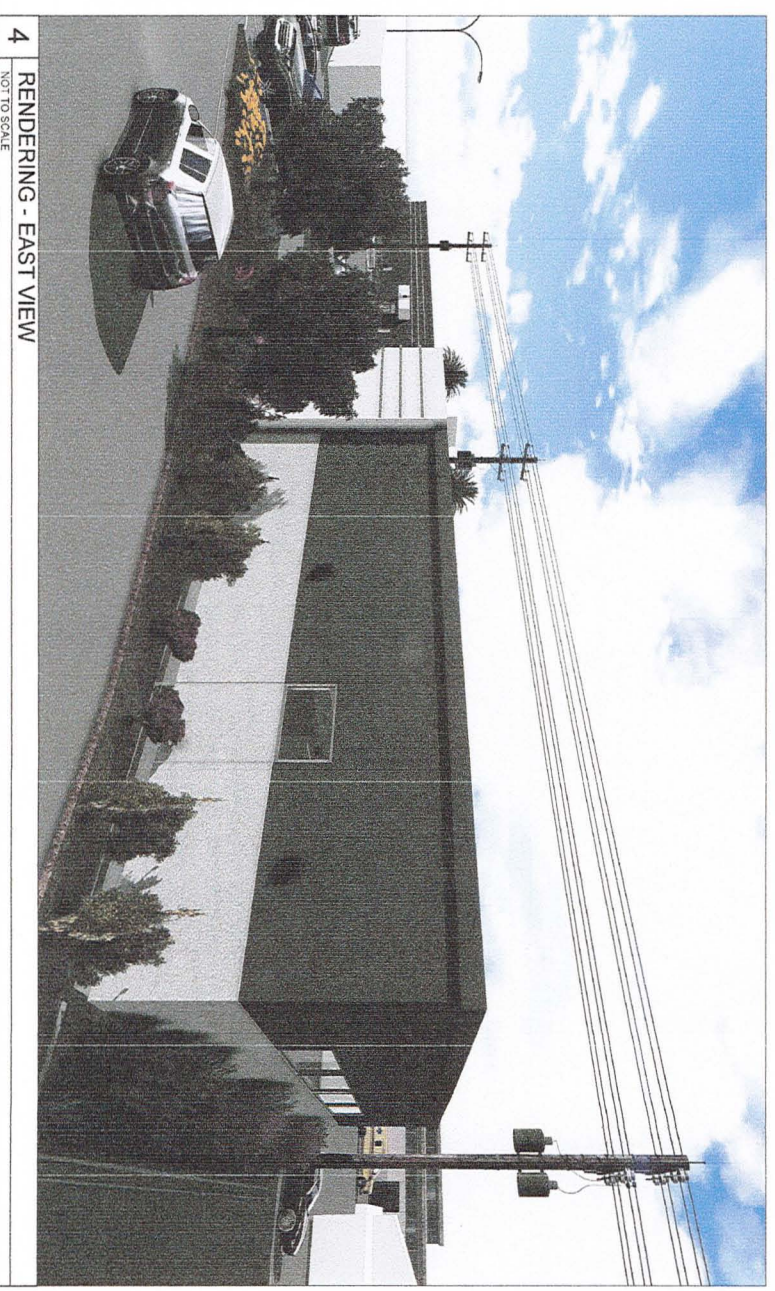
1 RENDERING - WEST VIEW
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2 RENDERING - SOUTHWEST VIEW
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3 RENDERING - NORTHWEST VIEW
NOT TO SCALE



4 RENDERING - EAST VIEW
NOT TO SCALE



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 525 E Main Street, El Cajon, CA 92020
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 (619) 515-2569
 3059 Lockridge Street
 San Diego, CA 92102

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RENDERINGS
 3D

A202

CITY OF EL CAJON

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APPLICANT: FAMILY HEALTH CENTERS OF SAN DIEGO
 ASSESSOR PARCEL NO(S): APN: 488-233-51, 488-233-50, 488-233-01, 488-233-53
 AND 488-233-54

REQUEST: General Plan Amendment from (LRS) to (SC)
 Site Redesign/Modification from (P) to (GC)
 Addition of Physical Therapy Clinic at existing 525 E. Main Clinic

PC RESOLUTION No. _____ APPROVED BY: _____
 CC RESOLUTION No. _____
 ORDINANCE No. _____ DATE: _____

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Community Development Department
PLANNING COMMISSION AGENDA REPORT

City of El Cajon

Agenda Item:	4 – Continued from February 20, 2018
Project Name:	Transit District Specific Plan
Request:	Workshop
CEQA Recommendation:	Environmental Impact Report
STAFF RECOMMENDATION:	No Action
Project Number(s):	General Plan Amendment No. 2017-04 Specific Plan No. 531 Zone Reclassification No. 2328 Environmental Impact Report No. 90
Location:	Area Surrounding the El Cajon Transit Station
Applicant:	City of El Cajon - Planning
Project Planner:	Melissa Devine, 619.441.1773, mdevine@cityofelcajon.us
City Council Hearing Required?	No
Recommended Actions:	1. Workshop item. No action requested.

UPDATE

This workshop was continued from the February 20, 2018 Planning Commission meeting to allow for the participation of the full Planning Commission. A project working group meeting was held on February 22, 2018. A diverse group of individuals including property owners, residents, church pastors, a developer, a real estate broker, and representatives from Newcomers SD, MTS, Caltrans, and the El Cajon Collaborative participated in a discussion on the draft Transit District Specific Plan (TDSP). Community members and stakeholders responded positively to the draft TDSP, and each participant was provided a copy for further review and comment.

PROJECT DESCRIPTION

The draft Transit District Specific Plan (TDSP) proposes a new long-range vision for the 260-acre area surrounding the El Cajon Transit Station. The TDSP envisions a complete neighborhood with a range of housing options, neighborhood commercial services, employment opportunities and facilities all connected to local and regional transportation with streets designed to provide comfortable and attractive connections to the transit station and beyond. The plan sets the stage with land uses and urban design guidelines that guide and direct new development around the transit station and

programs new street improvements that support walking, bicycling and transit use. The draft TDSP is available for public review on the website at www.cityofelcajon.us/transit-plan. The plan is provided on the Commissioner's iPads. No action is requested during this workshop.

BACKGROUND

The project is funded through a TransNet Smart Growth Opportunity Grant from SANDAG. A consultant team, led by Diego Velasco with MW Steele, consisting of urban designers, streetscape and landscape design professionals, engineers, economic consultants, and environmental analysts, has worked with city staff over the last two years to produce a new plan for this area that is feasible and based on the market realities in El Cajon.

A project working group composed of residents, property owners, business and non-profit representatives and agency stakeholders have provided community input and guidance throughout the project. Two workshops were also held during the early outreach phase, and other community outreach to local groups has been conducted. A fourth meeting of the Project Working Group will be held on February 22, 2018 to present the draft plan and gain feedback from the community members. A summary of the community outreach to date is provided as an attachment to the report.

DISCUSSION

Specific Plan

The TDSP is a Specific Plan which has the authority through the California Government Code to serve as a more refined regulatory tool to guide future development of a defined area. Two companion items will be brought forward with the TDSP, a General Plan Amendment and Zone Reclassification, for the land use changes proposed.

Land Use

The coordinated land use and transportation strategy focuses new growth close to the transit station and at key intersections and focus areas while preserving the existing residential neighborhood, small-scale commercial retail along El Cajon Boulevard, and the industrial employment area. This land use concept is depicted in Figure 4 on page 19.

Areas of Transition

The primary changes will be in the area along Marshall Avenue which will transition from Industrial to Residential. The areas at the intersection of El Cajon Boulevard and Washington Avenue and El Cajon Boulevard and Palm Avenue will allow for future residential or commercial as mixed-use. Modest increases in residential density are also proposed in areas currently planned for residential use. Overall, there will be a net decrease of approximately 21 acres of industrial land. New residential land use, mixed uses, and increases in density will allow for approximately 1,800 new residential units over what is currently planned in the area.

Nonconforming Uses

As some of these properties transition from older industrial uses, a concern regarding nonconforming uses arises. There are provisions built into the plan (Page 21) that allow for those previously permitted uses to remain and expand as appropriate without the need for additional permits. This preserves the existing businesses and provides certainty for their continued operations. In order to address potential issues with the collocation of new uses within these existing industrial areas, landscaped buffers are proposed for expanded industrial uses to minimize conflicts with future residential uses.

Development Standards

The plan takes advantage of existing citywide zones as base zones and modifies, where appropriate, for increased height, reduced setbacks, increased lot coverage and reduced parking (pages 22-25). These were based on the feasibility analysis provided by Keyser Marston, which identified potential impediments to future development. These modifications will incentivize and encourage new development in this area. The plan also has built in flexibility to allow for additional modifications as part of a project approval.

Focus Areas

The plan describes in detail the potential development opportunities for each focus area of the plan and sets objectives for future development in these areas. In addition, a visual simulation is provided to show how these areas could change over time with new land uses and streetscape improvements.

Mobility Improvements

A significant component of this plan is mobility and how to improve access and connections throughout the area. Historically, planning for the automobile has been the focus of city streets. The intent with this plan is to program in spaces for people to walk and bike to and from the transit station and throughout the community. The project has done this through looking at the activity centers and the important connections throughout the community and planning for improvements as summarized below (page 39). In order to achieve the goals and balance the needs of all the modes of travel, it is necessary to reduce the number of travel lanes along some street segments. This results in slower speeds and safer streets.

- El Cajon Boulevard is envisioned as a Green Street Gateway with enhanced pedestrian crossing through the use of bulb outs and new landscaping improvements. The center of El Cajon Boulevard has the ability to become a lively village retail area and streetscape improvements supportive of that including wider sidewalks and space for outdoor cafes and retail displays are proposed similar to the downtown area.

- A series of three roundabouts on El Cajon Boulevard are proposed to provide traffic calming and free up additional public right-of-way for landscaping and sidewalks space.
- Main Street improvements would include new bicycle lanes, enhanced sidewalks, and parkway areas.
- Marshall Avenue is proposed to have improved sidewalks, crossings, and landscaping. Bicycle facilities are also proposed to continue north of West Main Street improving connections between the Arnele and Transit Center trolley stations.
- Johnson Avenue is proposed to have a multi-use path as a buffered and separate safe area for people to walk and bicycle. This is proposed from Fletcher Parkway south to Chase Avenue. This would connect the north and south side sides of the City and provide an active recreational amenity to connect schools, the Renette recreation center and park, the shopping mall, and residential neighborhoods.

Urban Design

An important component of the plan is guidance for the design and appearance of future development projects. Design guidelines will provide a set a criteria to evaluate future development proposals and include policies on public and open spaces, building frontages, site design, collocation, and building scale and architecture. The guidelines also address community features such as landscape, street furniture, and signage.

Implementation

One of the primary purposes for developing this plan was to provide a mechanism for real physical change within the area. The transit station makes this area eligible for several regional and state grant programs for infrastructure, and the plan provides the vision and the concepts. The City's Public Works Department is currently moving forward to apply for Smart Growth Incentive Program grant funds for capital improvements on Marshall, Palm Avenue, East Main, and the El Cajon Boulevard and Palm Roundabout.

The City is working with MTS on an MOU for the parking lot at the transit station to explore opportunities for a residential project similar to the Grossmont Center Transit Station project, which developed residences above parking on the MTS property. A full implementation program will be included as part of the final draft of the plan.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

An Environmental Impact Report has been prepared and is available for public review through March 7, 2018 on the website and at the El Cajon libraries.

RECOMMENDATION

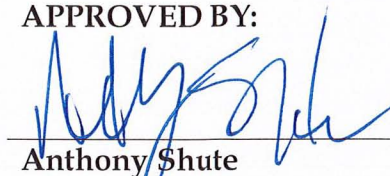
No action is requested at this time. Staff is soliciting feedback on the draft plan, which will be considered in the preparation of the final draft plan, which will be brought before the Planning Commission for a public hearing in April.

PREPARED BY:



Melissa Devine
SENIOR PLANNER

APPROVED BY:



Anthony Shute
DIRECTOR OF COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Transit District Specific Plan available at www.cityofelcajon.us/transit-plan (also on Commissioner's iPads)
2. Public Outreach Summary



Transit District Plan Outreach Summary

A project working group was formed to guide the development of the plan. This group included residents, property owners, industrial and commercial businesses representatives, and social service agency representatives. Public agency representatives were also invited to participate. Caltrans, MTS, and the San Diego Air Pollution Control District participated in various capacities.

A project website was kept updated with information throughout the project.

Updates were regularly provided to the Planning Commission, El Cajon Collaborative, the El Cajon Downtown Partnership and other local and civic groups.

A pop up event was held at the Farmer's Market on September 15, 2016. Information regarding the workshop was passed out.

The first workshop was held on September 21, 2016. A flyer was prepared and mailed to all property owners and tenants in the project area in English, Spanish and Arabic. Translation was also available at the meeting. 33 members of the public in addition to agency representatives, city staff and consultant team members were present at the meeting. The workshop was an open house with four interactive stations to solicit input. A walking tour of the area was held in conjunction with a pedestrian safety project in advance of the workshop.

Project Working Group Meeting No. 1 was held on October 20, 2016. This meeting covered the existing conditions and feasibility analysis, challenges and opportunities and resulted in the framework plan. Approximately nine community members attended this meeting.

A transit user intercept survey was completed in November 2016 with 103 unique responses. The results indicated that most people surveyed accessed the transit station using transit and used a combination of buses and trolleys for mostly school or work trips. Most indicated they would like to see improved landscaping, new safety measures such as lighting, and new bicycle lanes or bike parking as well as new sidewalks and crosswalks. Additionally, most people were interested in new housing and retail opportunities and new park space in the area around the station.

Project Working Group Meeting No. 2 was held on November 17, 2016. At this meeting, land use alternatives and streetscape options were presented to the group for feedback. 14 community members attended this meeting.

Public Workshop No. 2 & Project Working Group Meeting No. 3 were held on December 6, 2016. A flyer was prepared and mailed to all property owners and tenants in the project area in English, Spanish and Arabic. Translation was also available at the meeting. Participants were provided with large aerial maps and potential street improvements to identify top priorities and design street improvements. Land use concepts was presented and participants were asked to identify what types of buildings they would like to see. Approximately 35 people attended the meeting including agency staff and the consultant team.

Project Working Group Meeting No. 4 was held on February 23, 2017. Final Draft Land Use and Mobility Concepts were prepared and presented to gain consensus on the concepts. Mobility concepts included street sections for all the major corridors were presented. Eight community members attended this meeting.

An EIR scoping meeting was held on April 27, 2017, and five community members attended.

The project was featured in the Fall 2017 Gateway Magazine mailed to all residents in the City of El Cajon.

The draft TDSP was presented to the El Cajon Collaborative on February 6, 2018. Approximately, 60 representatives of social service agencies attended the meeting.